

## **PROJECT NARRATIVE FOR CMPA MINOR PERMIT AUTHORIZATION FOR CABIN BLUFF HAUL OUT SLIP:**

### **Project Overview:**

Sheet Pile is to be installed immediately behind existing sheet pile on the Northern side of the slip with the existing sheet pile to ultimately be removed. Sheet pile on the back (western side) of slip is to be moved slightly to the East to make the slip area smaller, thus mitigating a safety concern with the width of the dirt road behind the sheet pile wall by allowing it to be widened. The widened road area will remain pervious with dirt or gravel placed on it. The Southern side sheet pile is to be placed directly in front of Existing sheet pile. The overall boat slip width, North to South, of the slip, will remain the same with the final dimensions of the slip slightly offset.

The project dimensions will follow the proposed layout on the attached Plan View drawings. The Sheet pile material will be steel with a Coating on it, to help prevent corrosion, as shown in the engineered drawings. The sheet pile will be installed from the upland sides of the boat slip using a Vibratory Hammer mounted to an excavator to provide safety and a controlled method for installation. There is adequate access from all three sides of the proposed construction area. The existing sheet pile will be removed, where necessary, using an excavator & Vibro Hammer.

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### **Introduction:**

Cabin Bluff, LLC is seeking authorization for a project that will be classified as a CMPA Minor Permit as it will impact 0.02 acres which is significantly less than 0.10 acre CMPA Minor threshold at their location in Camden County, GA. Under the Coastal Marshlands Protection Act of 1970 (CMPA), Cabin Bluff, LLC would like to replace existing steel sheet pile wall for an existing, man-made Cabin Bluff Boat Lift slip area. When replacing the sheet pile wall, the desire is to mitigate a safety concern for small vehicles and pedestrians in a narrow dirt roadway area by moving the sheet pile location to provide a wider dirt road.

The proposed project will impact approx. 964 sq ft with clean fill material by shortening the length of the man-made basin by installing the sheet pile approximately 20' waterward (East) to allow the 688 sq ft area in the "back" (western end) of the slip to be backfilled with clean, environmentally friendly structural fill. On the sides of the boat slip area, the new sheet pile will be installed immediately behind the existing sheet pile on the Northern side and immediately in front of the existing sheet pile on the southern side to contain the existing upland while providing the same final net width of the boat slip area. The total wall profile width of the Sheet Pile Wall System will be 24" including the sheet pile and the waler beam. The Northern side will produce a net decrease of 12 sq ft of jurisdictional area, as 56' will be placed upland of the existing sheet pile and 31' (NE end of slip) will be placed waterward of the existing sheet pile. The Southern side will produce a net decrease of 264 sq ft of jurisdictional area, as 66' will be placed waterward of the existing sheet pile. The existing sheet pile that would be exposed on the Northern side will be removed once the new sheet pile has been installed.

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There will be no additional impervious areas created with the project. The existing 10'x36" RCP Pipe located in the back of the basin will be removed and replaced with a new, 30'x36" HDPE pipe. This pipe will be extended (20' added to original 10' length) to reach through the new sheet pile location and have a grate structure created on the waterward end with 9" butt wooden piles 25' in length for the protection of endangered manatee by preventing it from access to the pipe, as per the drawings. This is per the US ACOE requested design.

**Existing Conditions:**

The Cabin Bluff, LLC Boat Lift Haul Out Slip is located on the Eastern side of Union Carbide Rd. on the Cumberland River in Camden County GA. The existing Haul Out Slip is approximately 74' (East/West) x34' (North/South). The Slip is a man-made basin created over 30 years ago with approximately 231 Linear Feet of sheet pile. The existing sheet pile is rapidly nearing the end of its usable life. Inside the basin is an existing 7.6'x19.2' concrete floating dock with a 3'x21.4' aluminum gangway providing access from the bulkhead. While this structure may need to be moved during construction, it will ultimately be placed back in its existing location at the completion of the project.

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The basin consists of an open area that is a mud flat with a relatively uniform bottom elevation at low tide. There is a significant amount of silt that has built up from the tidal fluctuation, particularly in the back of the basin. While the basin is within marsh jurisdiction limits the entire project area is upland of the Mean Low Water Line.

There is also an existing 10'x36" RCP pipe in the back of the basin that provides flow to some upland surface water run-off.

**Marshland Component:**

The marshland component of the project consists of replacing existing sheet pile with slight modification to the existing layout, removing & replacing existing 36" pipe (existing pipe is 10'x36") with an extended pipe (extended pipe will be 30'x36' in total length) which will split (see drawings) to provide a more uniform outfall flow in the basin, to prevent erosion of the basin bottom. The associated areas will then be backfilled. (sheets 2&3 of 3 – CMPA Permit Illustration). Total proposed impact within jurisdiction is 964 sq ft. The proposed project would result in approximately 188 linear feet of 10' tall steel sheet pile bulkhead installation to replace the 231' linear feet of existing sheet pile which would be placed 2' to the north (landward) on the Northern segment, 2' to the North (waterward) on the southern segment, and 20' into the basin (towards the east) on the western segment, all creating a total fill area of 964 sq ft. The total wall profile width of the Sheet Pile Wall System will be 24" including the sheet pile and the waler beam. The two 36" culverts would be extended

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approximately 20' to provide continuation of existing flow with Protection grating on waterward side of pipe as per the FWS request. The areas requiring backfill will be filled with up to 380 cubic yards of appropriate A3 clean, environmentally friendly, structural fill dirt. These areas will be pervious to water and will be seeded with grass. Additionally, the existing 19.2'x7.6' Concrete Floating Dock with 3'x21.4' Aluminum Gangway will ultimately remain, but may be moved during construction. Please note the depth of the river bottom in the basin is relatively uniform providing a 10' tall sheet pile wall.

**Upland Component:**

The proposed project consists of sheet pile installation and culvert extension, all of which will take place as the Marshland Component. Thus, by definition, there is no Upland Component to the project.

**Alternatives Considered:**

After analyzing the existing structure and what it accomplishes, it was determined that the best way to make it safe, as it is not safe currently, is to install replacement sheet pile in a similar fashion to what is existing. With the minor modification of moving the sheet pile alignment on the Western side slightly in (to the East), the dirt road behind the wall would then be able to be widened. This would greatly mitigate a significant existing safety concern for vehicles that travel through this area to reduce the risk of potential losses. This structure has negligible, if any, negative impact to the surrounding wetland and waterway areas, as it has been in place for over 30 years and is cut into the existing shore-line, as opposed to protruding from it.

The Cabin Bluff organization uses this slip daily to get shelter from significant weather conditions while preparing the boats for use.

**LANDFILL OR HAZARDOUS WASTE STATEMENT:**

According to the EPD Website information for Camden County attached, there is no Landfill or Hazardous Waste in the construction area.

**EROSION AND SEDIMENTATION STATEMENT:**

As the agent, this project has been designed & will adhere to per the approved Erosion & Sedimentation Plans provided. - See ESPC Plan attached which has been approved

**WATER QUALITY CERTIFICATION**

The US ACOE is in the process of completing a Nation Wide Permit (NWP) for the project. Therefore a water Quality Certification (401) will not be required.

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**PUBLIC INTEREST STAEMENT**

- a. No obstruction will be created to the natural flow of navigational water, as the fill area proposed is not navigable
- b. No unreasonable erosion, shoaling, or stagnant areas will be created by the proposed project
- c. The project will not interfere with marine life, wildlife, or other resources

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**EROSION AND SEDIMENTATION STATEMENT:**

As the agent, this project has been designed & will adhere to per the approved Erosion & Sedimentation Plans provided. - See ESPC Plan attached which has been approved



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Scott Farrell

Farrell Brothers Marine Construction, Inc.

904-626-4506

[sfarrell@farrellmarine.com](mailto:sfarrell@farrellmarine.com)

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## Stockel, Skye

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**From:** Scott Farrell <sfarrell@farrellmarine.com>  
**Sent:** Friday, January 27, 2017 6:21 PM  
**To:** Stockel, Skye  
**Cc:** Scott Farrell  
**Subject:** RE: Cabin Bluff Boat Basin  
**Attachments:** CMPA Narratives - FBMC - 012717.docx

Skye-

Thank you for the additional note. Please see the comments below and the revised narrative attached.

- In the intro dialogue you state “The Southern side will produce a net decrease of 124 sq. ft. of jurisdictional area...”. Should this read increase?
  - This is a net decrease, as this section of the sheet pile will move waterward, thus protruding into the basin which is considered *Jurisdictional area*
- Dialogue states that the existing sheet pile is 210 linear ft. in the first paragraph of the existing conditions and 235 linear ft. in the Marshland Component description. This number needs to be consistent with what’s on the drawing (Page 3 of 3 on the color coded drawings) which states that the existing bulkhead is 231 linear ft.
  - All measurements have been changed to 231’
- I still need the height and width of the existing and proposed bulkheads to be defined. This helps the Department calculate total square footage for comparison with the application materials. There is a profile included with the materials submitted but that is for the most landward portion of the basin where the culvert will be. It doesn’t include the width of the proposed bulkhead or extension of the culvert into the basin. Also, one would expect the height from the top of the bulkhead to the mud line to be different closer to the mouth of the basin.
  - Height is relatively uniform in the entire basin because the river bottom is relatively uniform in the basin. The height is 10’. I am not sure what you would like for the “width” of the existing and proposed bulkhead? It is stated in the narrative that the new sheet pile will be approx. 2’ from the existing. Do you mean the corrugation depth (profile depth) of the sheet pile? If so, it would be considered a net zero for square square footage as the corrugations are symmetric. However, if you need the profile depth, we can get this but it can be confusing to show on a drawing.
- Please describe the existing length of the 36in. pipe and the proposed length of the 36in. pipe in your dialogue.
  - Existing length is 10’ end proposed length is additional 20’ (in-fill area) producing a total length of 30’. I have added this to the narrative
- What is the width of the gangway? I have the linear ft. described as 21.4ft. in the description and drawing.
  - Width is 3’. I have added this to the narrative
- What size are the wooden piling that will be installed so manatee cannot get into the culverts?
  - 9” butt x 25’ piles. This has been added to narrative.
- For clarification, will the “road” continue to be dirt or will gravel or paving be completed once fill is authorized?
  - It will remain pervious. Dirt most likely but may require a bit of gravel if erosion looks to be a possible issue. Both options being pervious.

Please let me know what else is needed.

Please also let me know if you have everything you need for Shellbine dock. And if so, when could we expect to receive the LOP?

GA DNR

JAN 28 2017



**GEORGIA**  
DEPARTMENT OF NATURAL RESOURCES

**ENVIRONMENTAL PROTECTION DIVISION**

**Richard E. Dunn, Director**

**Watershed Protection Branch**  
2 Martin Luther King, Jr. Drive  
Suite 1152, East Tower  
Atlanta, Georgia 30334  
404-463-1511

September 28, 2016

Mr. Dave Edwards  
MWV-Cabin Bluff, LLC  
3852 Union Carbide Road  
Woodbine, Georgia 31569

RE: Buffer Variances under  
Provisions of O.C.G.A. 12-7-6(b)(15)  
Cabin Bluff Boat Lift Repair  
Camden County

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Dear Mr. Edwards:

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The Georgia Environmental Protection Division (EPD) has reviewed the application for a stream buffer variance for the above-mentioned project. The review has concluded that Camden County, the designated Local Issuing Authority for the project, has determined in writing that the proposed impacts are considered to be exempt from variance requirements and would not require a stream buffer variance from Georgia EPD.

EPD has therefore closed your file on this project, and if you should have questions, please contact me at (404) 651-8549.

Sincerely,

Peggy Chambers  
Environmental Specialist  
Erosion and Sedimentation Control Unit

PC:kj  
Attachments

Cc: Scott Brazell

GA DNR

JAN 06 2017

Marsh & Shore Mgt. Program



# Board of County Commissioners

P.O. Box 99/200 East 4<sup>th</sup> Street • Woodbine, GA 31569

Phone: (912) 510.0464 • Fax: (912) 576.5647 • [www.camdencountyga.gov](http://www.camdencountyga.gov)

## Community Rating Service, E&S Coordinator

September 28, 2016

Mr. Dave Edwards  
Cabin Bluff  
3852 Union Carbide Rd.  
Woodbine, GA 31569

Re: Cabin Bluff Existing Boat Lift Slip

Dear Mr. Edwards,

Your above mentioned project has been reviewed and has an approved LDA permit #LDA2016-11, and E & S plans in my office and ready for pick up. According to the newly adopted E & S ordinance of Camden County Board of Commissioners in September of this year, you will not be required to have a buffer variance from Georgia EPD. Before you begin construction you will need to have clearance or approval from Georgia CRD on a CMPA permit. Camden County and I look forward to working with you on this endeavor.

Respectively,

Scott Brazell, CFM  
GSWCC 1a, 1b, & II Review

GA DNR

JAN 06 2017

*"Georgia's Coastal Community of Choice"*

Marsh & Shore Mgt. Program

STEVE L. HOWARD  
County Administrator

JOHN S. MYERS  
County Attorney

WILLIS R. KEENE JR.  
Commissioner, District 1

CHUCK CLARK  
Commissioner, District 2

JIMMY STARLINE  
Commissioner, District 3

GARY BLOUNT  
Commissioner, District 4

TONY SHEPPARD  
Commissioner, District 5





# Board of County Commissioners

## Office of Planning & Development

107 N. Gross Road Suite 3 • Kingsland, GA 31548

Phone: (912) 729.5603 • Fax: (912) 729.5543 • [www.co.camden.ga.us](http://www.co.camden.ga.us)

August 19, 2016

Karl Burgess  
Coastal Resources Division  
Georgia DNR  
One Conservation Way, Suite 300  
Brunswick, GA 31520

RE: Zoning Letter for MWV-Cabin Bluff, LLC

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Mr. Burgess,

This letter is to acknowledge that the project shown on the attached map(s) proposed for repair of an existing boat lift and haul out area is in compliance with County zoning laws. Such a permit is under the jurisdiction of the DNR.

If I may be of further assistance to you in this regard, please feel free to contact my office.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Landon".

Eric Landon,  
Planning Director  
Camden County Board of Commissioners

GA DNR

SEP 01 2016

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**HULSBERG**  
ENGINEERING, INC.  
11461 OLD ST. AUGUSTINE RD., SUITE #202  
JACKSONVILLE, FL 32209  
P. 904.882.7401 F. 904.280.4267  
hulsberg@hulsberg.com

GEORGIA CERTIFICATE OF  
AUTHORIZATION No. 4241

06-17-18  
FLOYD S. SIMPSON, PE  
GSA PE No. 22029

COMMENTS

CLIENT  
Farnell Brothers Marine  
Construction, Inc.

PROJECT  
Cabin Bluff Sheet Pile Wall

JOB NUMBER: 15-1897 COUNTY: CAMDEN

SCALE  
1/8" = 1'-0" (U.O.N.)  
CONST. SCALE THIS DRAWING

RELEASE DATE: 08-17-18

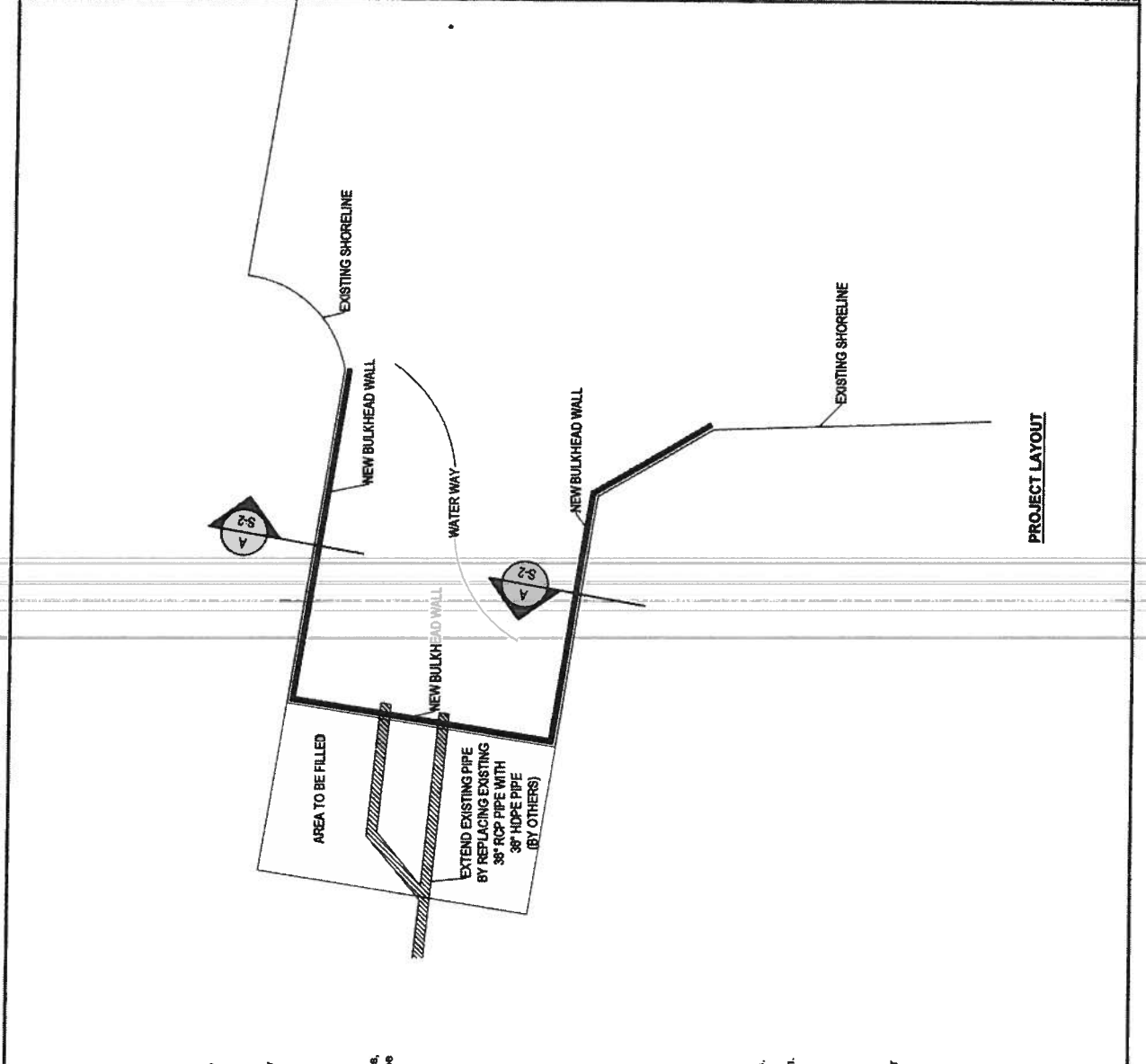
DESIGNER

DRAWN BY: DJM-JCS

CHECKED BY: JULESS

TITLE  
GENERAL NOTES AND  
LAYOUT

SHEET  
S-1



**DESIGN SPECIFICATIONS:**

Project has been designed in accordance with the 2012 International Building Code, with Georgia Amendments.

**GENERAL NOTES:**

- The scope of these plans is limited to the structural requirements of this project. Architectural, civil (site), electrical, mechanical (plumbing and HVAC), waterproofing, and flashing requirements are not addressed in these plans.
- It is the intent of the Engineer of Record (Engineer) that this work be performed in conformance with all requirements of the authorities having jurisdiction over this type of construction and occupancy.
- The contractor is responsible for the means and methods of construction. It is the contractor's sole responsibility to determine the procedure, sequence, and temporary bracing as to insure the safety of the building and its component parts during construction.
- The contractor shall verify all conditions and dimensions at the job site prior to commencing work.
- The contractor shall supply, locate, and build into the work all inserts, anchors, angles, plates, openings, sleeves, hangers, slab depressions, or other components as may be required to attach and accommodate other work.
- All details and sections shown on the structural drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work except where indicated otherwise.
- Refer to the structural drawings for all structural details and sections. The contractor shall contact the Engineer for clarification in cases of conflict between the structural drawings and any drawings prepared by others prior to commencing work.
- The geotechnical exploration report by CSI GEO, Inc. (Project No. 71-15-267-03) dated December 4, 2015 prepared for this site shall be used as reference for pile installation.

**STRUCTURAL STEEL:**

- Structural steel shall conform to AISC Specifications for Design and Fabrication and Erection of Structural Steel for Buildings (latest editions).
  - Welded connections: AWS D1.1
  - Structural steel shapes, plates: ASTM A36
  - Structural steel pipe: ASTM A53 or A501
  - Structural steel tubing: ASTM A500
- All structural steel connections and fabrications shall comply with AISC specifications.
- Steel shop drawings shall be provided to the Engineer for approval prior to fabrication.
- Holes required for bolted connections may be drilled or punched. Flame-cut holes shall not be used.
- Bolts shall be installed to the "snug-tight" condition - u.o.n.
- All structural steel shall be shop-painted with SSPC Paint 15 (red oxide) primer. Prior to painting, steelwork shall be cleaned per SSPC SP-6 "Commercial Blast Cleaning".
- SSPC Paint 36 (polyurethane) shall be applied as the final coat to all structural steel surfaces exposed and visible to the exterior of the structure.
- Field touch-up after installation where required to restore final finish.

*[Handwritten signature]*  
9/17/18

GA DNR

SEP 01 2016

Marsh & Shore Mgt. Program

**HULSBERG**  
ENGINEERING, INC.

11401 OLD ST. AUGUSTINE RD., SUITE # 202  
JACKSONVILLE, FL 32256  
P: 904 885 2461 F: 904 280 4387  
jrh@hulsberg.com

GEORGIA CERTIFICATE OF  
AUTHORIZATION No. 6241

08-17-16  
FLOYD & SIMPSON, PE  
(GA. PE. NO. 25535)

COMMENTS

CLEAR  
Farrell Brothers Marine  
Construction, Inc.

PROJECT  
Cabin Bluff Sheet Pile Wall

JOB NUMBER 15-1687 COUNTY CAMDEN

SCALE: 3/8" = 1'-0" (U.O.N.)  
DO NOT SCALE THIS DRAWING

RELEASE DATE 08-17-16

REVISIONS:

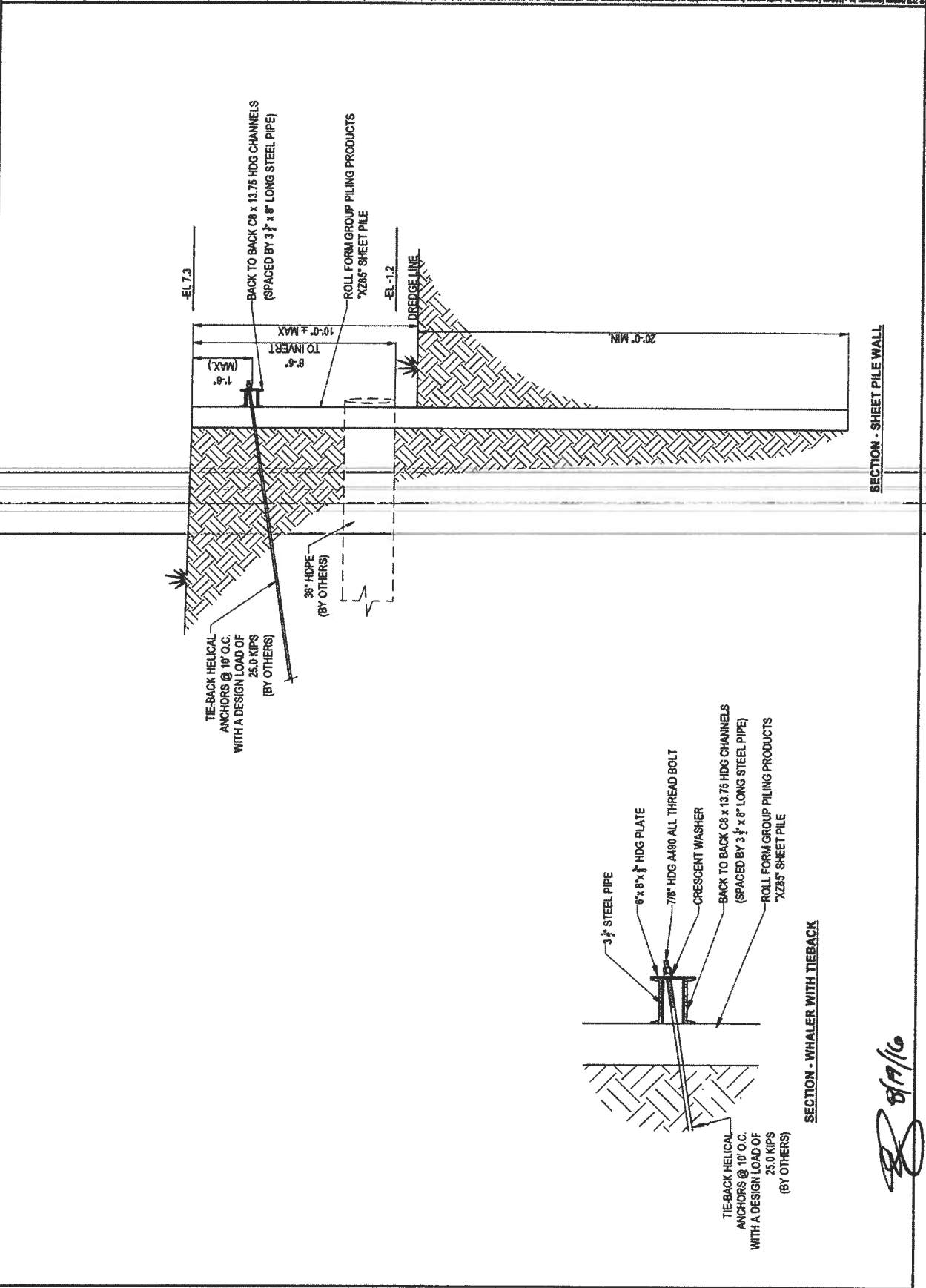
DRAWN BY DIM-JCG

CHECKED BY JULESS

TITLE SECTION

SHEET

S-2



SECTION - SHEET PILE WALL

SECTION - WHALER WITH TIEBACK

*[Handwritten signature]*  
08/17/16

GA DNR

SEP 01 2016

**Summary**

Parcel Number: 155 001A  
 Location Address: 5954 UNION CARBIDE RD  
 Legal Description: Comm (plant site)/ End of Union Carbide Rd  
 (Note: Not to be used on legal documents)  
 Class: 15-Industrial  
 (Note: This is for tax purposes only. Not to be used for zoning.)  
 Tax District: 42 UNINCORPORATED SERVICE DIST (District 42)  
 Millage Rate: 29.43  
 Acres: 7788.18  
 Homestead Exemption No (S0):  
 Landlot/District: N/A

Map Not Available

**Owner**

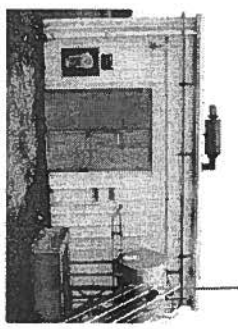
BAYER CROP SCIENCE LP  
 AITN-TAX DEPARTMENT  
 100 BAYER RD  
 PITTSBURGH, PA 15205

**Rural Land**

Type	Description	Calculation Method	Acres
RUR	Marsh	Rural	6933.72
RUR	Woodlands	Rural	23
RUR	Woodlands	Rural	831.46

**Commercial Improvement Information**

Description: Warehouse/Storage-5  
 Value: \$2,916  
 Actual Year Built: 1981  
 Effective Year Built:  
 Square Feet: 192  
 Wall Height: 8  
 Wall Frames: 014-0  
 Exterior Wall: 014-0  
 Roof Cover: 014-0  
 Interior Walls: 014-0  
 Floor Construction: 014-0  
 Floor Finish: 014-0  
 Ceiling Finish: 014-0  
 Lighting: 014-0  
 Heating: 014-0



Soil Productivity	Acres
1	6933.72
7	23
8	831.46

**Summary**

Parcel Number 167001  
 Location Address VII N/S BRICKHILL RIVER  
 Legal Description (Note: Not to be used on legal documents)  
 Class E1-Exempt  
 Tax District (Note: This is for tax purposes only. Not to be used for zoning.) 43 UNINCORPORATED SERVICE DIST (District 43)  
 Millage Rate 29.43  
 Acres 3217  
 Homestead Exemption No. (50)  
 Landlot/District N/A

Map Not Available

**Owner**

GEORGIA STATE OF  
 (NATURE CONSERVANCY)  
 1800 N KENT ST  
 COLUMBIA, SC 29209

**Rural Land**

Type	Description	Calculation Method	Soil Productivity	Acres
RUR	Woodlands	Rural	9	3217

**Area Sales Report**

Recent Sales In Area

**Valuation**

Previous Value	2015	\$1,833,239
Land Value		\$1,044,580
+ Improvement Value		\$0
+ Accessory Value		\$0
= Current Value		\$1,044,580

No data available for the following modules: Land Conservation Use Rural Land, Residential Improvement Information, Commercial Improvement Information, Mobile Homes, Accessory Information, Prebill Mobile Homes, Permits, Sales, Assessment Notices, Photos, Sketches.

The Camden County Assessor's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is preliminary, and is as approved by the Board of Assessors for annual assessment notices. All data is subject to change.

**Summary**

Parcel Number 158 001  
 Location Address  
 Legal Description MARSH  
 (Note: Not to be used on legal documents)  
 Class E1-Exempt  
 (Note: This is for tax purposes only; Not to be used for zoning.)  
 Tax District 41 UNINCORPORATED SERVIC (District 41)  
 Millage Rate 29.43  
 Acres 583  
 Homestead Exemption No (SD)  
 Landlot/District N/A  
 Map Not Available

**Owner**

GEORGIA STATE OF  
 SAINT MARYS, GA 31558

**Rural Land**

Type	Description	Calculation Method	Soil Productivity	Acres
RUR	Marsh	Rural	1	583

**Area Sales Report**

Recent Sales In Area

**Valuation**

Previous Value	2015
Land Value	\$6,505
+ Improvement Value	\$6,505
+ Accessory Value	\$0
= Current Value	\$6,505

No data available for the following modules: Land, Conservation Use Rural Land, Residential Improvement Information, Commercial Improvement Information, Mobile Homes, Accessory Information, Prebill Mobile Homes, Permits, Sales, Assessment Notices, Photos, Sketches.

The Camden County Assessor's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is preliminary and is as a provided by the Board of Assessors for annual assessment notices. All data is subject to change.