

MARK WILLIAMS
COMMISSIONER

DOUG HAYMANS
DIRECTOR

MAY 09 2018
Sissy Schram
Oceanview Home Owners Association
P.O. Box 2390
Tybee Island, GA 31328

Re: Letter of Permission, Maintenance of an Existing Deck and Private Dune Crossover, Oceanview Home Owners Association, 9 Oceanview Court, Tybee Island, Atlantic Ocean, Chatham County, Georgia.

Dear Ms. Levy:

This Letter of Permission (LOP) is in response to your request to maintain an existing deck and private dune crossover located at 9 Oceanview Court. The proposed project involves maintenance of the existing deck, handrails, decking, stringers and pilings as needed. The project will begin no sooner than 15 days after the date on this letter and be completed within 6 months of issuance.

As proposed, the project scope includes selective replacement of the existing decking, handrails, stringers and pilings associated with the fixed deck, stairs, and elevated dune crossover located within an accreting dynamic dune field on Tybee Island. The existing irregularly shaped deck measures approximately 90ft. x 12ft. and provides residents access to the shared 8ft. x 60ft. dune crossover. There will be no excavation of the existing structures. As proposed, the repaired deck and crossover will be maintained within the footprint of the existing structure. Hand tools will be used to cut existing timbers at grade and derelict portions of the existing structures will be removed and disposed of at an appropriate upland facility. Heavy equipment, including a debris dumpster is prohibited in the SPA Jurisdictional Area. The purpose of the project is to maintain the existing structures for their intended purpose.

The Department authorizes the proposed project as depicted above and in the attached description provided all Best Management Practices (BMPs) be used. All work must be accomplished using hand tools only. No heavy equipment or vehicles are allowed on the beach or in the dynamic dune field in conjunction with this project.

No unauthorized equipment, materials or debris may be placed, disposed of, or stored in the jurisdictional Areas. Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states. This LOP is valid for the above referenced project. Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office could result in the revocation of this LOP and in the required removal of the materials and related structures.

This LOP is not meant to exempt the above referenced activity from future environmental laws. **This project must comply with all other Federal, State, and local statutes, ordinances and regulations.**

Because the project may occur between May 1st and October 31st, turtle nesting season, an individual with a DNR Sea Turtle Cooperators Permit may be required to survey the area to be used by the equipment prior to the work beginning. All sea turtle nests must be avoided and no heavy equipment may be used within 20' of a nest area.

Thank you for working with the Department. Please contact Deb Barreiro at (912) 266.3695 if you have any questions or concerns with this project or any future projects.

Sincerely,



Jill Andrews
Chief, Coastal Management Section

Enclosures: Project request, map and DNR's Dune Crossover Standard Conditions

cc: George Shaw
City of Tybee Island
P.O. Box 2749
Tybee Island, Georgia 31328

Mr. Venkataraghavan
70 Lake Drive S NO 439 C
New Fairfield, CT 06812

Paul Bradley
P.O. Box 2508
Tybee Island, GA 31328

LOP20180070

Barreiro, Deb

From: Barreiro, Deb
Sent: Friday, March 23, 2018 12:47 PM
To: 'Babu Venkataraghavan'
Cc: Comcast; Paul Bradley
Subject: RE: Building Permit - 9 Oceanview Ct

thanks to each of you
for emailing to ask about maintaining the deck and dune crossover at 9 Oceanview Court, Tybee.

I plan to do a quick site visit next week to inspect the structure.
I will follow up with any additional questions as soon as that work is complete.

enjoy your weekend
db

From: Babu Venkataraghavan [mailto:venkatar_babu@yahoo.com]
Sent: Thursday, March 22, 2018 8:29 AM
To: Barreiro, Deb <Deb.Barreiro@dnr.ga.gov>
Cc: Comcast <s.levy841@comcast.net>; Paul Bradley <psbradmd@gmail.com>
Subject: Building Permit - 9 Oceanview Ct

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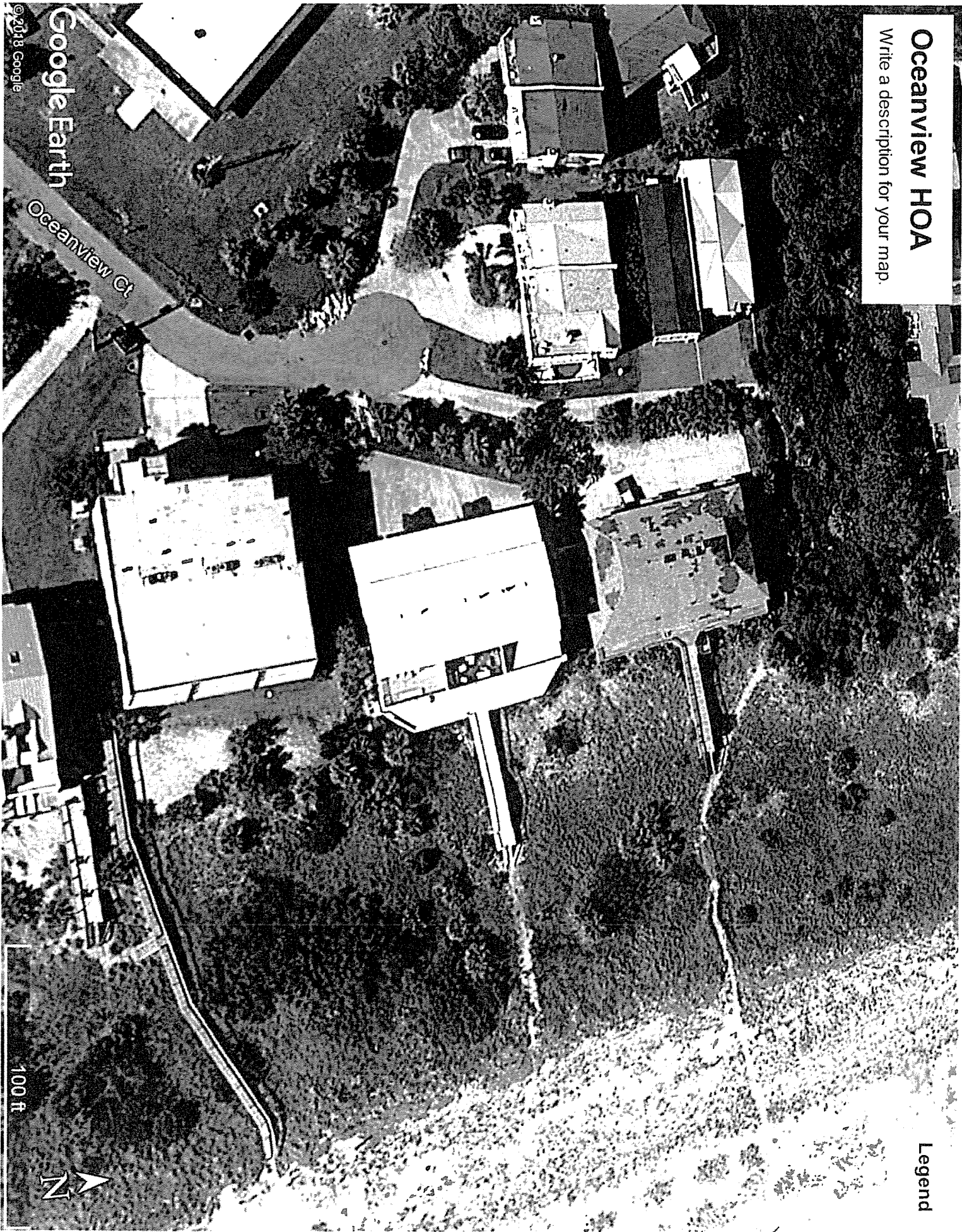
Ms. Barreiro:

Oceanview home owners association has applied for a building permit to replace an existing deck. The footprint will remain the same. I am the owner of 9 C Oceanview Ct, and have been designated as one of the contact persons for the project. Your help to obtain the necessary approvals will be greatly appreciated.
Thank you.

R. (Babu) Venkataraghavan
203-417-9902

Oceanview HOA

Write a description for your map.



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Google Earth

Oceanview Ct

100 ft



Legend



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Shore Protection Act O.C.G.A. 12-5-230

Standard Permit Conditions for Dune Crosswalks

Only one crosswalk structure shall be allowed on a parcel. In considering the design and routing of a crosswalk, the shortest route over the lowest area of the dunes shall be plotted to minimize impacts to the sand sharing system. For new construction, no decks or viewing platforms will be approved in the jurisdictional area. Previously permitted and grandfathered structures may be maintained provided they are serviceable. Additionally, the applicant requesting the structure must own 100% of the private lands through which the structure crosses or have the express written permission of the owner.

The following standard conditions shall apply to dune crosswalks:

1. The height of the structure shall be at least 36" above the grade of the sand dune and the width shall be no greater than 6' as measured from the outside posts, to allow for sand movement or accretion in the dynamic dune field.
2. The terminal point of the crosswalk shall be seaward of the seaward most dune but shall not encroach seaward of the ordinary high water line in the active intertidal beach.
3. If the shoreline erodes and the crosswalk extends seaward of the ordinary high water line, it will be the responsibility of the applicant to move the permitted improvements back to the dry sand beach, landward of the ordinary high water line.
4. The structure shall begin at the toe of the landward most dune.
5. Heavy equipment is prohibited in the Shore Protection Act jurisdiction. This project must be constructed using hand tools.
6. Clearing and grading of dunes is not authorized in conjunction with the construction of this project; stockpiling of materials in the dunes is prohibited.
7. Vegetation may be cleared only for the width of the permitted structure. The maintenance trimming of jurisdictional vegetation will only be allowed within 6" of the sides of the structure and 7' high over the structure.
8. No motorized vehicles are permitted on the crosswalk structure, except for motorized wheelchairs for handicapped persons.
9. Any sand needed to restore the site to pre-project vegetated and topographic conditions, or for backfilling, must be beach quality and obtained from an upland source and not from the beach.