



DEPARTMENT OF NATURAL RESOURCES
COASTAL RESOURCES DIVISION
ONE CONSERVATION WAY • BRUNSWICK, GA 31520 • 912.264.7218
COASTALGADNR.ORG

MARK WILLIAMS
COMMISSIONER

DOUG HAYMANS
DIRECTOR

MAY 10 2018

Mr. Robert Ellis
Seascape Condominium Association
547 East St. Julian Street
Savannah, GA 31401

Re: Letter of Permission (LOP), Maintenance of Existing Decks, Activities within the State's Shore Protection Act (SPA) Jurisdiction, Seascape Condominiums, Taylor Street, Tybee Island, Atlantic Ocean, Chatham County, Georgia

Dear Mr. Ellis:

This Letter of Permission (LOP) is in response to your request to maintain the existing elevated decks at the above referenced property. The proposed project involves maintenance of the existing handrails, decking, stringers and pilings as needed. The project will begin no sooner than 15 days after the date on this letter and be completed within 6 months of the letters issuance.

The six (6) unit condominium complex includes a landscaped area and a maintained lawn on the seaward side of the parcel. Four (4) residential units have existing 2nd and 3rd story decks located above 10ft. x 18ft. concrete slab patios on the ground floor. As proposed, the project scope includes replacement of decking, handrails, stringers and pilings. To facilitate the replacement of stringers and support pilings, the applicant is proposing to remove existing structures, excavate existing footings and replace the decks within the footprint of the existing 10ft. x 18ft. patio. Scaffolding and appropriate safety equipment will be erected using an appropriate lift in the State's SPA Jurisdiction in association with the project.

The Department authorizes the proposed project as depicted above and in the attached description provided all Best Management Practices (BMPs) be used. No additional heavy equipment, fuel, vehicles or dumpsters are allowed on the seaward side of the structure in conjunction with this project.

No unauthorized equipment, materials or debris may be placed, disposed of, or stored in the Jurisdictional Areas. Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states. This LOP is valid for the above referenced project. Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office could result in the revocation of this LOP and in the required removal of the materials and related structures.

This LOP is not meant to exempt the above referenced activity from future environmental laws. **This project must comply with all other Federal, State, and local statutes, ordinances and regulations.**

MAY 10 2018

Seascape Condominium SPA LOP

Page 2 of 2

Thank you for working with the Department. Please do not hesitate to contact Deb Barreiro at (912) 266.3695 if you have any questions or concerns with this project or any future projects.

Sincerely,



Jill Andrews
Chief, Coastal Management Section

Enclosures: Project request, map and DNR's Dune Crossover Standard Conditions

cc: George Shaw
City of Tybee Island
P.O. Box 2749
Tybee Island, Georgia 31328

Jenny Dumont
Merrill Lynch, Pierce, Fenner & Smith Inc
7414 Hodgson Memorial Drive
Savannah, GA 31406

File: LOP2018075

October 2, 2017

To Whom It May Concern:

Please use this letter as my request for approval of a project to remove the existing decks and then subsequently replace the decks, within the same footprint, for four (4) of the units of the Seascape Townhouses located 22, 24, 26 & 30 Taylor Street, Tybee Island, Georgia.

The two existing seaward decks of each unit are triangular in shape and have an approximate area of 90 sq ft (0.5 x 18ft x 10ft), extended over a 10ft x 18ft concrete slab patio. We are proposing to extend the far corner of each deck laterally outward in order to square each deck off to match the current deck of Unit 32, owned by William and Jane Boswell. Doing so would increase the area of each deck to 180 sq. ft. All wood pilings, decking, handrails, pilings, and support stringers associated with each deck would be replaced, as well.

This request is for Unit 22, owned by Chris Sotus; Unit 24, owned by Rob Ellis; Unit 26, owned by Selina Solitario/Tybee Kite Properties, LLC; and Unit 30, owned by Al Lord.

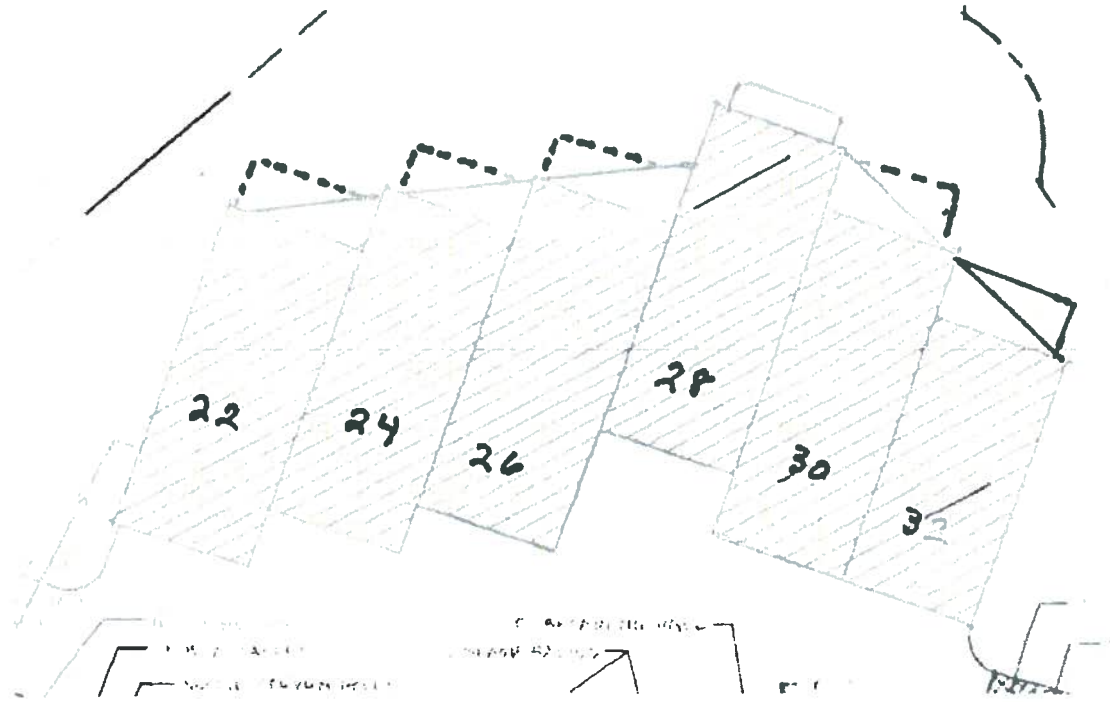
Thank you for your consideration of this matter.

Sincerely,

A handwritten signature in blue ink that reads "Chris P. Sotus". The signature is written in a cursive style with a large initial "C" and "P".

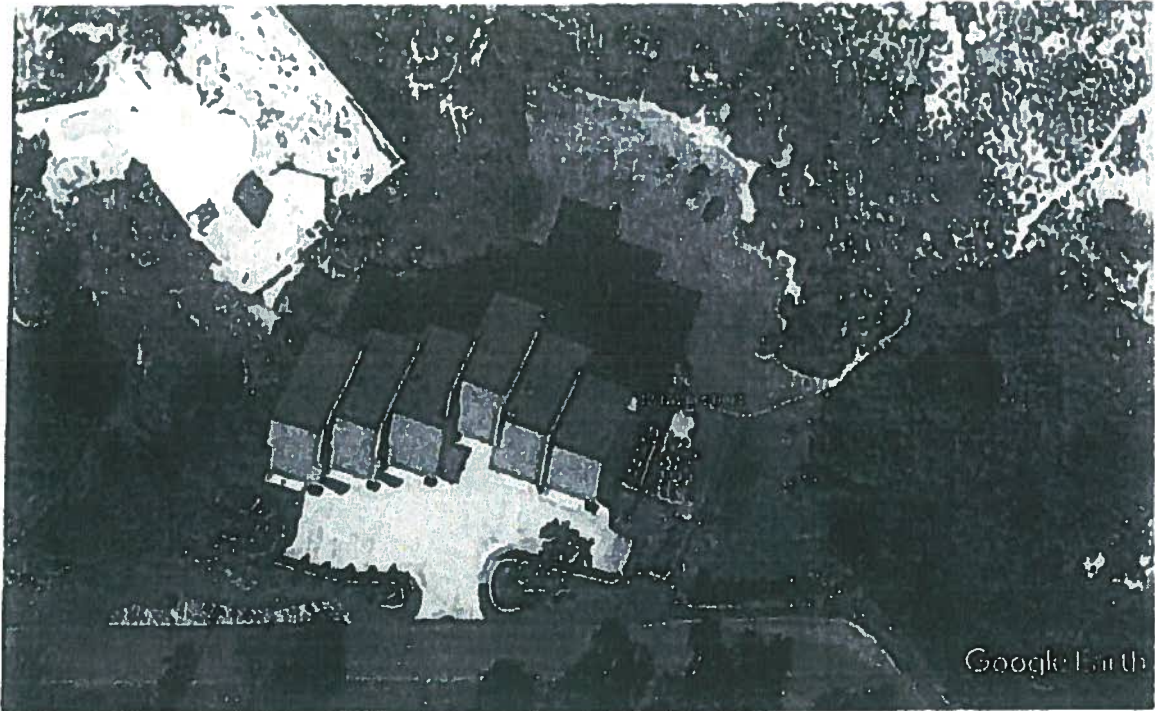
Chris Sotus

— Current deck boundaries
- - - Requested extension



Taylor St. Tybee Island GA

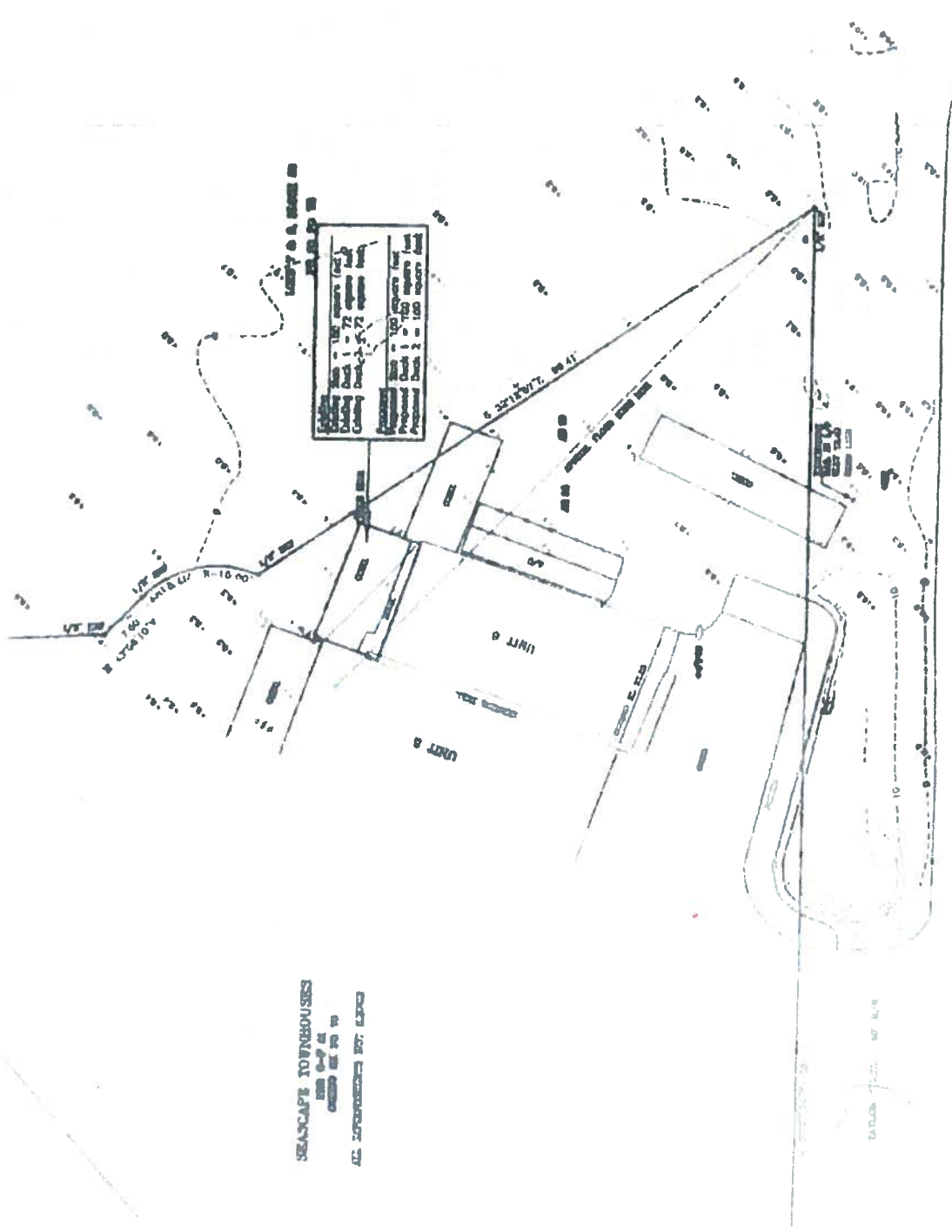
Request for deck removal + replace with squared deck within same footprint.



Google Earth

feet 200
meters 60





Existing Plant - 100 square feet Existing Deck 1 - 72 square feet Existing Deck 2 - 72 square feet	Proposed Deck 1 - 100 square feet Proposed Deck 2 - 100 square feet
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SEASCAPE TOWNHOUSES
 DATE: 10/15/2008
 BY: [Signature]
 CHECKED BY: [Signature]

SCALE: 1/8" = 1'-0"
 NORTH

excavated material placed
in the area:
if sand is high
relocation of material that
4/2003

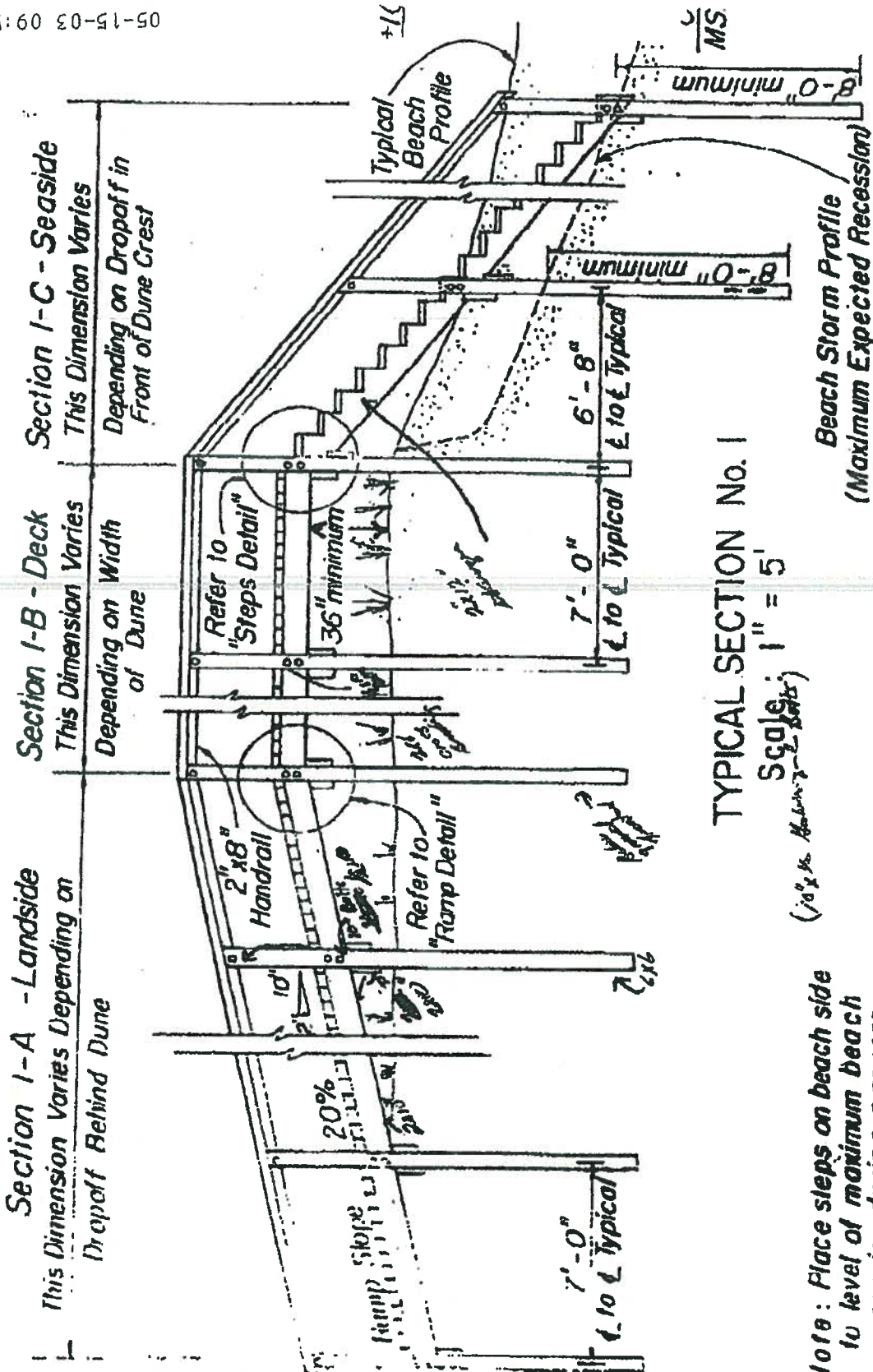
Appendix C Standard Conditions for Dune Crossovers

Shore Protection Act O.C.G.A. 12-5-230 Standard Permit Conditions for Dune Crossovers

Only one crossover structure shall be allowed on a parcel. In considering the design and routing of a crossover, the shortest route over the lowest area of the dunes shall be plotted to minimize impacts to the sand sharing system. For new construction, no decks or viewing platforms will be approved in the jurisdictional area. Previously permitted and grandfathered structures may be maintained provided they are serviceable. Additionally, the applicant requesting the structure must own 100% of the private lands through which the structure crosses or have the express written permission of the owner.

The following standard conditions shall apply to dune crossovers:

1. The height of the structure shall be at least 36" above the grade of the sand dune and the width shall be no greater than 6' as measured from the outside posts, to allow for sand movement or accretion in the dynamic dune field.
2. The terminal point of the crossover shall be seaward of the seaward most dune but shall not encroach seaward of the ordinary high water line in the active intertidal beach.
3. If the shoreline erodes and the crossover extends seaward of the ordinary high water line, it will be the responsibility of the applicant to move the permitted improvements back to the dry sand beach, landward of the ordinary high water line.
4. The structure shall begin at the toe of the landward most dune.
5. Heavy equipment is prohibited in the Shore Protection Act jurisdiction. This project must be constructed using hand tools.
6. Clearing and grading of dunes is not authorized in conjunction with the construction of this project; stockpiling of materials in the dunes is prohibited.
7. Vegetation may be cleared only for the width of the permitted structure. The maintenance trimming of jurisdictional vegetation will only be allowed within 6" of the sides of the structure and 7' high over the structure.
8. No motorized vehicles are permitted on the crossover structure, except for motorized wheelchairs for handicapped persons.
9. Any sand needed to restore the site to pre-project vegetated and topographic conditions, or for backfilling, must be beach quality and obtained from an upland source and not from the beach.



05-15-03 09:519M

Received May-15-03 08:22 From-866 786 5737 To-DNR/Coastal Resource Page 011

Section 1-A - Landside
This Dimension Varies Depending on
Dropoff Behind Dune

Section 1-B - Deck
This Dimension Varies
Depending on Width
of Dune

Section 1-C - Seaside
This Dimension Varies
Depending on Dropoff in
Front of Dune Crest

TYPICAL SECTION No. 1
Scale: 1" = 5'
(10' x 6' Maximum)

Note: Place steps on beach side
to level of maximum beach
recession during a severe
storm or tropical hurricane

Beach Storm Profile
(Maximum Expected Recession)

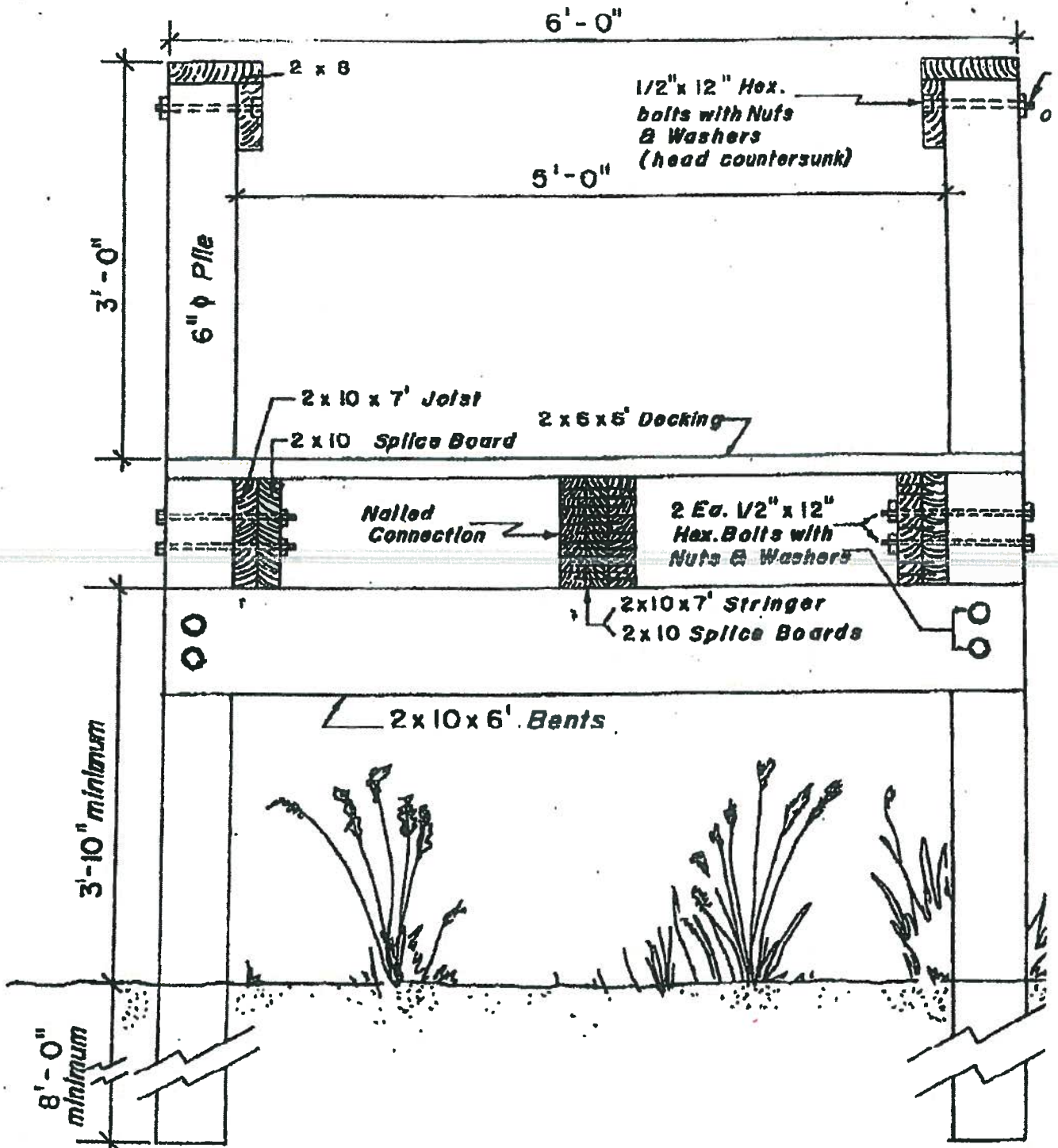


Fig. 3 TYPICAL SECTION I-B DECK
Scale: 1" = 1'-0"

05-15-03 989499M1