



COASTAL RESOURCES DIVISION
ONE CONSERVATION WAY • BRUNSWICK, GA 31520 • 912.264.7218
COASTALGADNR.ORG

MARK WILLIAMS
COMMISSIONER

DOUG HAYMANS
DIRECTOR

OCT 04 2018

Jeff Homans
Land Designs Associates, Inc.
228 Redfern Village, #203
St. Simons Island, GA 31522

RE: Letter of Permission (LOP), Maintenance and Minor Improvements to the Existing Dune Crosswalk at the St. Simons Grand, 1400 Ocean Boulevard, St. Simons Island, Glynn County, Georgia GPS: (31.14135°N, 81.37595°W)

Dear Mr. Homans:

This Letter of Permission (LOP) is in response to your request, received September 6, 2018, to perform maintenance and minor improvements to the existing dune crosswalk located at the St. Simons Grand on St. Simons Island. This request was previously authorized in a LOP issued January 19, 2018, but the authorized work was not completed in the timeframe authorized in the January 19, 2018 LOP. According to the current request, activities include (1) replacement of the existing wood decking and handrails with new wood decking and handrails and (2) converting the existing steps into a ramp with minor framing modification (new beams and shortening of posts).

All work will be done in the existing dune crosswalk footprint. The new ramp will be constructed lower than the existing sand elevation to account for future sand shift and erosion. The new ramp will not extend farther than the existing crosswalk steps. Materials will be marine grade pressure treated or other natural wood and marine grade stainless steel fasteners and hardware. All construction access will occur from the applicant's property. No heavy equipment is proposed, and all work will be done with power hand tools. Construction activity around the existing structure shall be limited to three (3) feet of the existing structure. Any excavated sand will be minimal and temporarily placed on a plastic tarp landward of the ordinary high-water mark. This project will begin no sooner than 15 days from the date of this letter and be completed no later than 6 months from the date of this letter.

The Department authorizes the activities as depicted in the attached description provided, all Best Management Practices (BMPs) be used. This LOP is not meant to exempt the above referenced activity from future environmental laws. Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states. No unauthorized materials or debris may be placed, disposed of, or stored in jurisdictional areas.

This LOP is valid for the above referenced project. Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office, could result in revocation of this permission and in the required removal or materials and related

OCT 04 2018

LOP- St. Simons Grand
Maintenance and Minor Improvements
Page 2 of 2

structures. This project must comply with all other Federal, State, and local statues, ordinance, and regulations.

Because the project may occur between May 1st and October 31st, turtle nesting season, an individual with a DNR Sea Turtle Cooperators Permit must survey the area to ensure all sea turtle nests are avoided.

If you have any further questions or concerns in regards to this or any other project, please feel free to contact Jordan Dodson at (912) 262-3109.

Sincerely,



Jill Andrews
Chief, Coastal Management Section

Enclosures: Project Description, Drawings, and LOP Issued January 19, 2018

File: LOP20180148

LAND DESIGN ASSOCIATES, INC.

228 Redfern Village #203
St. Simons Island, GA 31522
912.571.1137
LandDesignAssociates@gmail.com

September 6, 2018

Ms. Jordan Dodson
Coastal Resources Division
Georgia Department of Natural Resources
One Conservation Way, Suite 300
Brunswick, Georgia 31520

Dear Ms. Dodson,

Thank you for speaking with me this morning. The St. Simons Grand board of directors wish to accomplish minor improvements to the property's existing dune crossover structure and rehabilitate eroded dunes underneath the structure with a Letter of Permission from the Georgia DNR. This condominium property is located at 1400 Ocean Blvd., St. Simons Island, GA. The following text and attached photos and plan describe and illustrate the scope and nature of the proposed work.

The improvements shall take place inside the existing footprint of the existing crossover. The improvements include: (1) replacement of existing wood decking and handrails with new wood decking and handrails and (2) conversion of existing steps into ramps with minor framing modifications (new beams, shortening of posts). This proposed work shall not alter the footprint of the existing posts, piling, or foundation of the existing structure and 2-4 new pressure treated wood posts may be installed at the foot of the ramp if necessary. The foot of the ramp shall be constructed lower than the existing sand elevation to account for future sand shift or erosion. The new ramp shall not extend farther than the existing crossover steps footprint. Materials shall be marine grade pressure treated or other natural wood and marine grade stainless steel fasteners and hardware.

All construction access shall occur from the applicant's property. The work shall be performed by a Georgia Licensed General Contractor with power hand tools. No equipment or machinery shall enter the jurisdiction area. Construction activity around the existing structure shall minimize disturbance to dune vegetation and root mass and shall be limited to within 3 feet of the existing structure. Any native dune vegetation impacted by construction activity shall be replaced in like kind. Any excavated sand shall be minimal and placed on plastic tarps on hard packed sand above the high water line, outside the path of normal beach foot traffic, and covered with plastic tarps until it is replaced in its original location.

The work is anticipated to have a 10 day construction period occurring in the fall/winter of 2018/2019. Furthermore, Best Management Practices (BMPs) shall be used and no unauthorized equipment, materials, or debris shall be placed, disposed of, or stored in the jurisdictional areas.

Thank you for your kind assistance with this request and please let me know if you may require more information or clarification.

Best regards,



Jeff Homans

Landscape Architect
Land Design Associates, Inc.

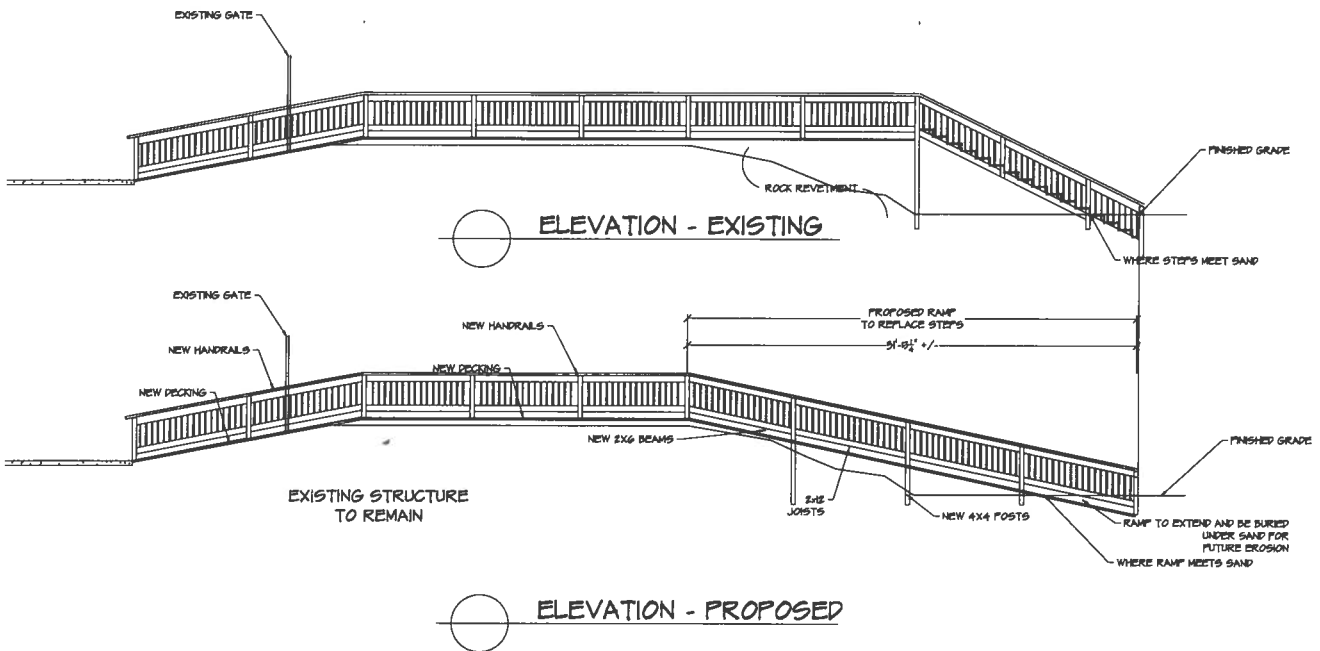
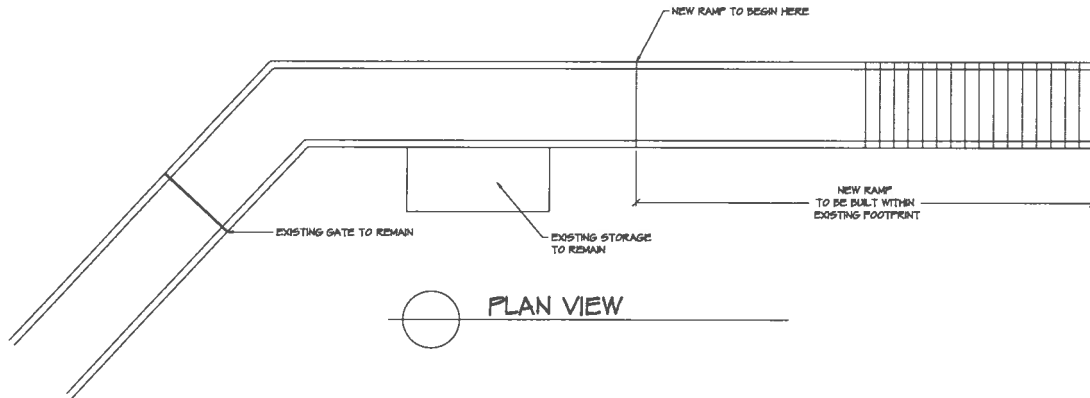
Attachments:

1. Aerial photograph - Showing dune line before Hurricane Irma
2. Current Photos - Showing existing conditions
3. St. Simons Grand - Crossover Improvement Plan.PDF









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 Date: 1/18/18
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 Sheet: /

Crossover Improvements Plan
The St. Simons Grand
 520 Ocean Blvd - St. Simons Island, Georgia

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DEPARTMENT OF NATURAL RESOURCES
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MARK WILLIAMS
COMMISSIONER

DOUG HAYMANS
DIRECTOR

JAN 19 2018

Jeff Homan
Land Design Associates, Inc.
228 Redfern Village, #203
St. Simons Island, GA 31522

RE: Letter of Permission (LOP), Maintenance and Minor Improvements to the Existing Dune Crossover, St. Simons Grand, St. Simons Island, Glynn County, Georgia

Dear Mr. Homan:

This Letter of Permission (LOP) is in response to your request, dated December 29, 2017, to perform maintenance and minor improvements to the existing dune crossover located at the St. Simons Grand on St. Simons Island. According to the request, activities include (1) replacement of the existing wood decking and handrails with new wood decking and handrails and (2) converting the existing steps into a ramp with minor framing modifications (new beams and shortening of posts).

All work will be done in the existing dune crossover footprint. The new ramp will be constructed lower than the existing sand elevation to account for future sand shift and erosion. The new ramp will not extend farther than the existing crossover steps. Materials will be marine grade pressure treated or other natural wood and marine grade stainless steel fasteners and hardware. All construction access will occur from the applicant's property. No heavy equipment is proposed, all work will be done with power hand tools. Construction activity around the existing structure shall be limited to three (3) feet of the existing structure. Any excavated sand will be minimal and temporarily placed on a plastic tarp landward of the high water line. This project will begin no sooner than 15 days from the date of this letter and be completed no later than 6 months from the date of this letter.

The Department authorizes the activities as depicted in the attached description provided all Best Management Practices (BMPs) be used. This Letter of Permission is not meant to exempt the above referenced activity from future environmental laws. Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states. No unauthorized materials or debris may be placed, disposed of, or stored in jurisdictional areas.

This LOP is valid for the above referenced project. Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office could result on the revocation of this permission and in the required removal

of the materials and related structures. This project must comply with all other Federal, State, and local statutes, ordinances and regulations.

Because the project may occur between May 1st and October 31st, turtle nesting season, an individual with a DNR Sea Turtle Cooperators Permit must survey the area and the access to be used by the equipment prior to the work beginning. All sea turtle nests must be avoided and no heavy equipment may be used within 20' of a nest area.

If you have any further questions or concerns in regards to this or any other projects, please feel free to contact Jordan Dodson at (912) 262-3109.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Jill Andrews', with a long horizontal flourish extending to the right.

Jill Andrews
Chief, Coastal Management Section

Enclosures: Project Description

File: LOP20180009

LAND DESIGN ASSOCIATES, INC.

228 Redfern Village #203
St. Simons Island, GA 31522
912.571.1137
LandDesignAssociates@gmail.com

December 29, 2017

Mr. Karl Burgess
Coastal Resources Division
Georgia Department of Natural Resources
One Conservation Way, Suite 300
Brunswick, Georgia 31520

Dear Karl,

The St. Simons Grand board of directors wish to accomplish minor improvements to the property's existing dune crossover structure and rehabilitate eroded dunes underneath the structure with a Letter of Permission from the Georgia DNR. This condominium property is located at 520 Ocean Blvd., St. Simons Island, GA. The following text and attached photos describe and illustrate the scope and nature of the proposed work.

The improvements shall take place inside the existing footprint of the existing crossover. The improvements include: (1) replacement of existing wood decking and handrails with new wood decking and handrails and (2) conversion of existing steps into ramps with minor framing modifications (new beams, shortening of posts). This proposed work shall not alter the footprint of the existing posts, piling, or foundation of the existing structure and 2-4 new pressure treated wood posts may be installed at the foot of the ramp if necessary. The foot of the ramp shall be constructed lower than the existing sand elevation to account for future sand shift or erosion. The new ramp shall not extend farther than the existing crossover steps footprint. Materials shall be marine grade pressure treated or other natural wood and marine grade stainless steel fasteners and hardware.

GA DNR

JAN 08 2018

Marsh & Shore Mgt. Program

All construction access shall occur from the applicant's property. The work shall be performed by a Georgia Licensed General Contractor with power hand tools. No equipment or machinery shall enter the jurisdiction area. Construction activity around the existing structure shall minimize disturbance to dune vegetation and root mass and shall be limited to within 3 feet of the existing structure. Any native dune vegetation impacted by construction activity shall be replaced in like kind. Any excavated sand shall be minimal and placed on plastic tarps on hard packed sand above the high water line, outside the path of normal beach foot traffic, and covered with plastic tarps until it is replaced in its original location.

The work is anticipated to have a 10 day construction period occurring in early 2018.

Furthermore, Best Management Practices (BMPs) shall be used and no unauthorized equipment, materials, or debris shall be placed, disposed of, or stored in the jurisdictional areas.

Thank you for your kind assistance with this request and please let me know if you may require more information or clarification.

Best regards,


Jeff Homans

Landscape Architect

Land Design Associates, Inc.

Attachments:

1. Aerial photograph - Showing dune line before Hurricane Irma
2. Current Photos - Showing what is existing now after Hurricane Irma

GA RNR

JAN 08 2018

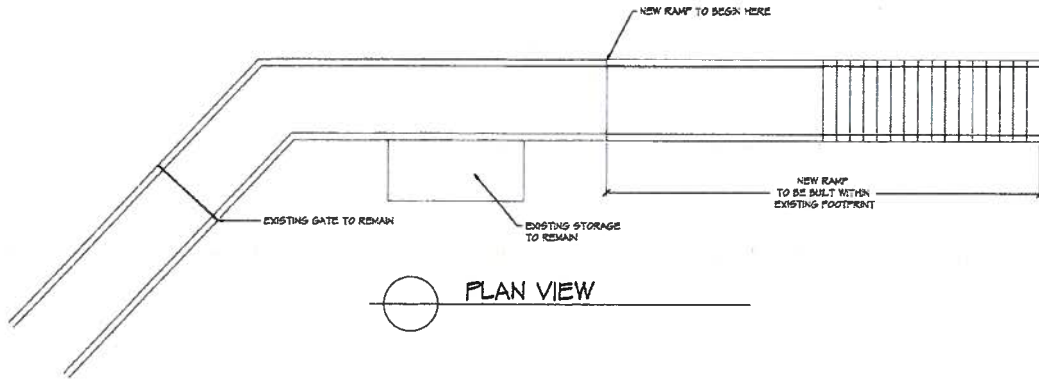
Marsh & Shore Mgt. Program



GA DNR

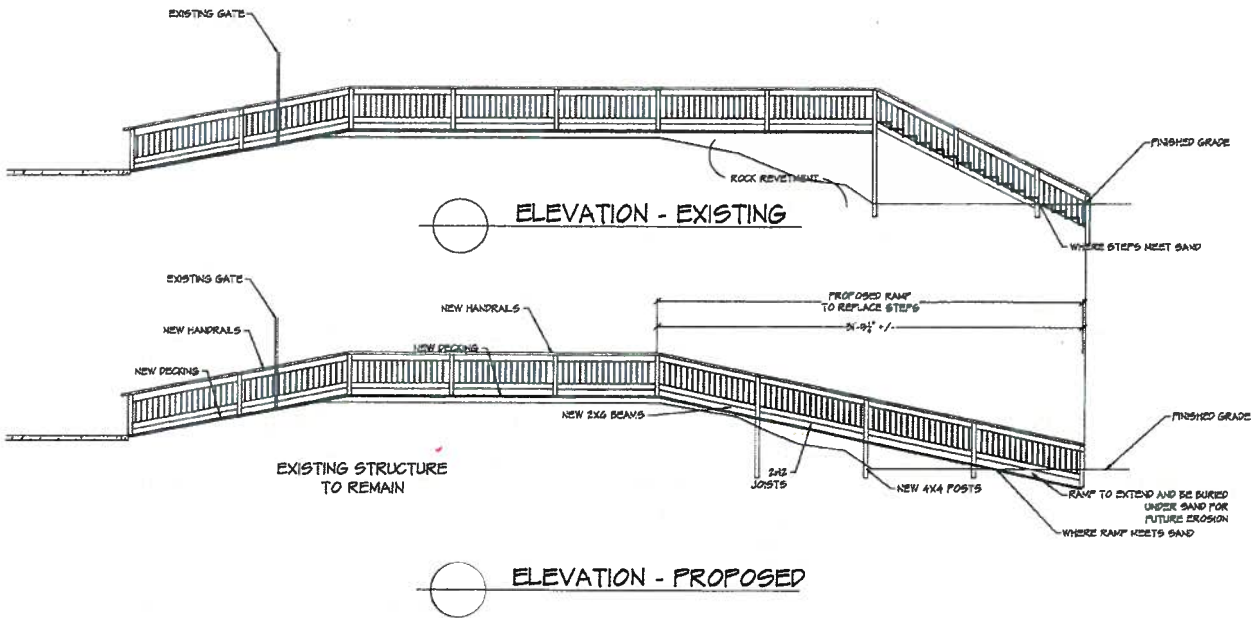
JAN 08 2018

Marsh & Shore Mgt. Program



GA DNR / HMP

JAN 19 2018



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Date: 1/18/18
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Crossover Improvements Plan
The St. Simons Grand
520 Ocean Blvd - St. Simons Island, Georgia

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