



DEPARTMENT OF NATURAL RESOURCES
COASTAL RESOURCES DIVISION
ONE CONSERVATION WAY • BRUNSWICK, GA 31520 • 912.264.7218
COASTALGADNR.ORG

MARK WILLIAMS
COMMISSIONER

DOUG HAYMANS
DIRECTOR

Robert C. Ussery
Ussery-Rule Architects, P.C.
1804-A Frederica Road
St. Simons Island, GA 31522

NOV 21 2018

Re: Letter of Permission (LOP) for King and Prince Beach and Golf Resort, Temporary Activities Associated with the Repurposing of the Parking Lot, 201 Arnold Road, St. Simons Island, Glynn County GPS: (31.139504°N/81.378173°W)

Dear Mr. Ussery:

This Letter of Permission (LOP) is in response to your request, received October 15, 2018 on behalf of the King and Prince Beach and Golf Resort, for temporary activities within the State's Shore Protection Act (SPA) Jurisdiction area associated with the repurposing of the parking lot area landward of the SPA Jurisdiction at the end of Arnold Road on St. Simons Island, Glynn County, Georgia. The project within the State's SPA Jurisdiction will begin no sooner than 15 days from the date of this letter and be completed no later than six (6) months from the date of this letter.

The temporary activities within the SPA Jurisdiction include the removal of existing hardscape (asphalt/concrete paving and stone/concrete walkways) and fencing along with the installation of new hardscapes and landscaping. The hardscape to be removed includes the existing asphalt, concrete paving, stone/concrete walkways, and fencing. During the construction period, temporary construction and silt fencing will be installed. Once the existing hardscape and fencing is removed, the following new impacts will be installed: fencing, a masonry wall with pilasters, new hardscape paving, and new lawn and native plantings. The new paving, fencing, and masonry wall will be installed within the same footprint of the asphalt and concrete paving to be removed. As described, the hardscape to be removed totals 587 sq.ft. and the new hardscape will total 384 sq.ft. New Landscaping will be installed in areas formerly hardscaped.

The Department authorizes the King and Prince Beach and Golf Resort to conduct the proposed activities as described above and depicted in the attached description, provided all Best Management Practices (BMPs) be used to prevent any additional impacts at the site and to protect jurisdictional shore areas. No unauthorized equipment, materials, or debris may be placed, stored, or disposed of in jurisdictional areas. Any deviations from the current project description, equipment list, or location footprint, without prior notification and approval from this office, could result in the revocation of this permission and in the required removal of the related structures. Any incidental damage to the jurisdictional area will require restoration to be coordinated through this office.

NOV 21 2018

This LOP does not relieve you from obtaining any other federal, state, or local permits. If you have any questions, you may contact Jordan Dodson at (912) 262-3109.

Sincerely,



Jill Andrews
Chief, Coastal Management Section

Enclosures: Description and Drawings
File: LOP20180164



Ussery-Rule Architects, P.C.

1804-A Frederica Road
Saint Simons Island, Georgia 31522

PH: 912.638.6688
www.URarch.com

October 12, 2018

Georgia Department of Natural Resources

ATTN: Jordan Dodson, Coastal Permit Coordinator
One Conservation Way
Brunswick, Georgia 31520

**RE: King & Prince Beach & Golf Resort
201 Arnold Road, St. Simons Island, Georgia**

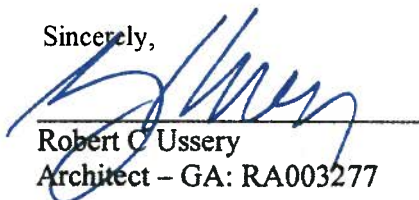
Dear Ms. Dodson:

On behalf of the Inn of Lake City, Inc., Ussery-Rule Architects, P.C. is requesting a letter of permission (LOP) for activities proposed within the Shore Protection Act (SPA) jurisdiction at the King & Prince Beach & Golf Resort located at 201 Arnold Road, St. Simons Island, Georgia in Glynn County.

The demolition activities within the SPA jurisdiction associated with this LOP will include removing existing asphalt & concrete paving, removing existing stone & concrete walkways, and removing existing fencing. The proposed new activities within the SPA jurisdiction will include the installation of temporary construction and silt fencing during the construction period, installation of new aluminum fencing, installation of a new masonry wall with pilasters, installation of new hardscape paving and installation of new lawn and native plantings. The new paving, fencing, and masonry wall will be installed within the same footprint of the asphalt and concrete paving that will be removed.

Drawings showing the existing conditions and the proposed site plan are attached. As proposed, the project will result in a net increase of landscaped area within the SPA Jurisdiction. If you have any questions or require additional information please contact me at your earliest convenience.

Sincerely,



Robert C. Ussery
Architect – GA: RA003277

URA : smg

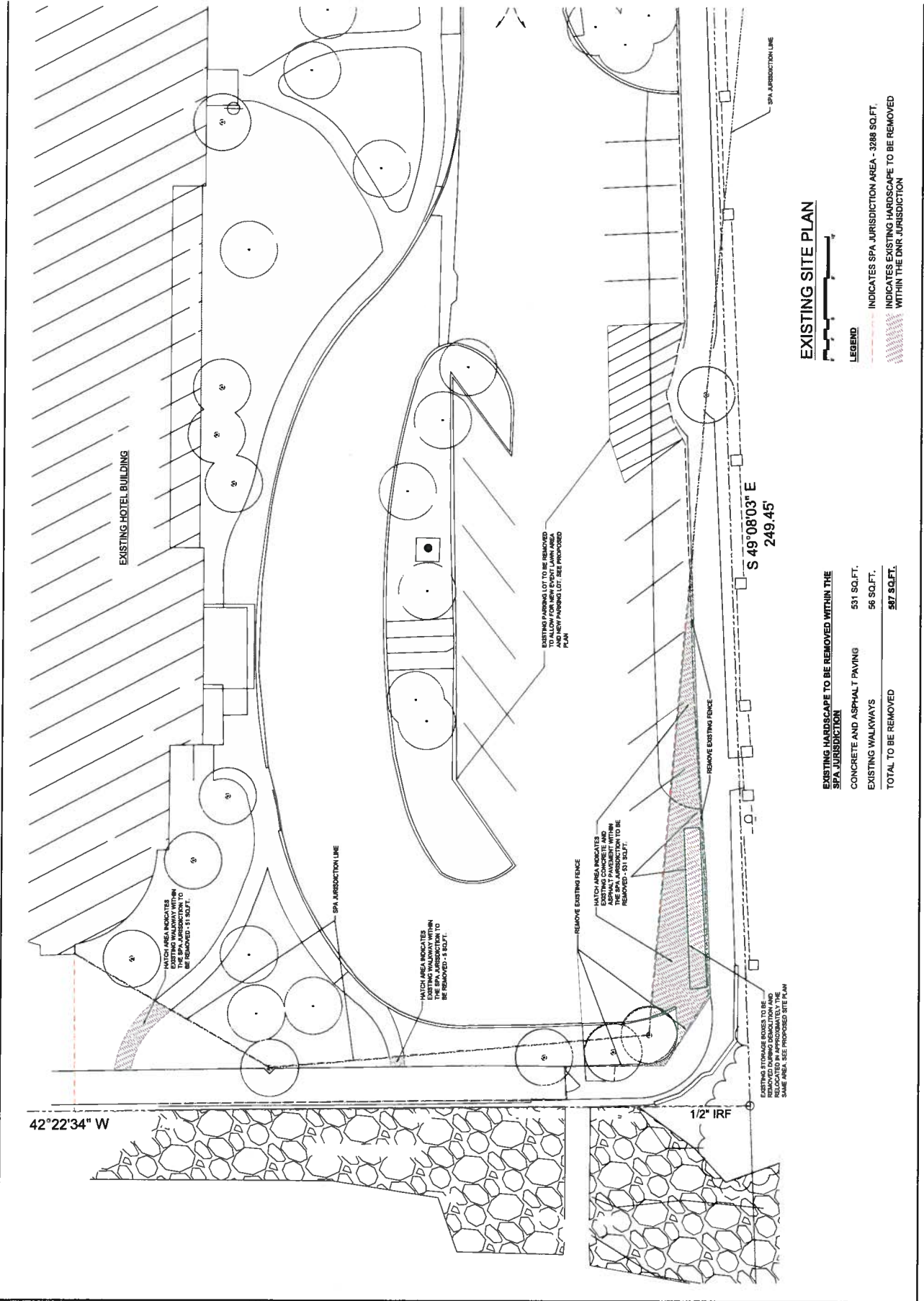


USSERY/RULE ARCHITECTS P.C.
 1804-A FREDERICA ROAD
 ST SIMONS ISLAND, GEORGIA 31522
 PH. 912-638-6686 FAX 912-638-6628

The King and Prince
 BEACH & GOLF RESORT
 201 ARNOLD ROAD, ST SIMONS ISLAND, GEORGIA
 EVENT VENUE

1805	
10-12-18	

A-1



EXISTING SITE PLAN

- LEGEND**
- INDICATES SPA JURISDICTION AREA - 3288 SQ.FT.
 - INDICATES EXISTING HARDSCAPE TO BE REMOVED WITHIN THE DNR JURISDICTION

EXISTING HARDSCAPE TO BE REMOVED WITHIN THE SPA JURISDICTION

CONCRETE AND ASPHALT PAVING	531 SQ.FT.
EXISTING WALKWAYS	56 SQ.FT.
TOTAL TO BE REMOVED	587 SQ.FT.

42°22'34" W

