

MARK WILLIAMS
COMMISSIONER

DOUG HAYMANS
DIRECTOR

DEC 05 2019
Jeff Homans
Land Design Associates, Inc.
228 Redfern Village #203
St. Simons Island, GA 31522

Re: Letter of Permission (LOP) and Revocable License (RL) for Rebuilding Crosswalk #5, Villas by The Sea, Shore Protection Act (SPA), Jekyll Island, Glynn County, Georgia (GPS: 31.096161 N, -81.402852 W)

Dear Mr. Homans:

This Letter of Permission (LOP) is in response to your request, received November 5, 2019, for rebuilding a beach access dune crosswalk authorized under Shore Protection Act (SPA) Permit #375.

The authorized crosswalk was approximately 190 ft. long by 5 ft. 6 in. to 6 ft. 2 in. wide. This crosswalk was partially dismantled in 2016 to provide construction access for the Jekyll Island Phase I Shoreline Rehabilitation project authorized by an LOP issued on November 30, 2017. Based on the attached drawings and the Department's site inspection on September 11, 2019, there are two remaining sections of the beach crosswalk with handrails within SPA jurisdiction. Section 1 of the crosswalk is 108 ft. 9 in. long, irregularly shaped width with deck boards 6 ft. wide and handrails varying in width from 5 ft. 10 in. to 6 ft. 2 in. Approximately 23 ft. 6 in. seaward of section 1, is section 2 which is 6 ft. 7 in. long by 8 ft. wide, which includes a 2 ft. by 6 ft. 7 in. bench.

According to the request, the project will replace part of the crosswalk within the physical perimeter of the originally permitted crosswalk, by adding a 6 ft. long by 6 ft. 2 in. wide staircase with handrails onto the seaward end of remaining section 1, thus increasing section 1 total length to 114 ft. 8 in. A set of stairs with handrails will be added to the landward side of section 2, which will be built approximately 14 ft. 6 in. seaward of the section 1 stairs and will measure approximately 3 ft. long by 6 ft. wide. The section 2 stairs will lead to the existing section two where the bench will be removed for a new footprint of 6 ft. 7 in. long by 6 ft. wide. Directly seaward will be a 20 ft. long by 6 ft. wide walkway with handrails over the rock revetment, and a 24 ft. long by 6 ft. wide staircase with handrails leading to the beach. The overall footprint of the crosswalk will be reduced from approximately 190 ft. to 168 ft. in length. The project will start no sooner than fifteen (15) days from the date of the letter and must be completed not later than April 31, 2020.

Please find enclosed a fully executed revocable license for the above-described project. This license serves as authorization to utilize state owned tidal water bottoms for your project as per the dimensions and configuration described. Any change in the use, location, dimensions, or

DEC 05 2019

Villas by the Sea Crossover #5- LOP

Page 2 of 2

configuration of the approved project, without prior notification and approval from this office could result on the revocation of this license and in required removal of the materials and related structures.

This LOP does not relieve you from obtaining any other federal, state, or local permits. Tidal water bottoms of coastal Georgia are public trust lands controlled by the State, except for such lands where a validated Crown Grant or State Grant exists. Future maintenance activities that occur within tidal waters must first be authorized by the Georgia Department of Natural Resources' Coastal Resources Division.

Sincerely,



Jill Andrews

Chief, Coastal Management Section

Enclosures: Project Description, Project Drawings, SPA#375, Standard Permit Conditions for Dune Crosswalks

File: LOP20190122

CC: Tyler Brock- USACE

STATE OF GEORGIA

REVOCABLE LICENSE REQUEST FOR THE USE OF TIDAL WATERBOTTOMS

APPLICANTS NAME(S): Villas By-The-Sea Condominium Association, INC.

MAILING ADDRESS: 1175 Beachview Dr Jekyll Island GA 31527
(Street) (City) (State) (Zip)

PROJECT ADDRESS/LOCATION: 1175 Beachview Dr Jekyll Island, GA 31527

COUNTY: Clynn WATERWAY: Atlantic DATE: 9/18/19

LOT, BLOCK & SUBDIVISION NAME FROM DEED: 0034-10 000-001 Villas By-The-Sea

Georgia Department of Natural Resources
Coastal Resources Division
One Conservation Way
Brunswick, Georgia 31520-8687

I am requesting that I be granted a revocable license from the State of Georgia to encroach on the beds of tidewaters, which are state owned property. Attached hereto and made a part of this request is a copy of the plans and description of the project that will be the subject of such a license. I certify that all information submitted is true and correct to the best of my knowledge and understand that willful misrepresentation or falsification is punishable by law.

I understand that if permission from the State is granted, it will be a revocable license and will not constitute a license coupled with an interest. I acknowledge that this revocable license does not resolve any actual or potential disputes regarding the ownership of, or rights in, or over the property upon which the subject project is proposed, and shall not be construed as recognizing or denying any such rights or interests. I acknowledge that such a license would relate only to the property interests of the State and would not obviate the necessity of obtaining any other State license, permit or authorization required by State law. I recognize that I waive my right of expectation of privacy and I do not have the permission of the State of Georgia to proceed with such project until the Commissioner of DNR or his/her designee has signed a copy of this request.

Sincerely,

By: Rhonda L. Carlson 9/18/19
(Applicant), title if applicable

By: _____
(Applicant), title if applicable

The State of Georgia hereby grants you a revocable license not coupled with an interest as provided in your request. This area may now or in the future be utilized by boats employing power drawn nets under the provisions for commercial or sport bait shrimping. In its occupancy and use of the premises, licensee shall not discriminate against any person on the basis of race, gender, color, national origin, religion, age, or disability. This covenant by licensee may be enforced by termination of this license, by injunction, and by any other remedy available at law to the Department. The project proposed for this license must be constructed and completed within the specified timeframe associated with the authorization and/or transmittal letter associated with this revocable license and must be maintained in serviceable condition. Otherwise, action will be initiated to revoke this license and all structures must be removed immediately at the licensee's expense.

STATE OF GEORGIA
Office of the Governor

By: [Signature]
For: Mark Williams, Commissioner-DNR

Date: DEC 05 2019



DEPARTMENT OF NATURAL RESOURCES
COASTAL RESOURCES DIVISION
ONE CONSERVATION WAY • BRUNSWICK, GA 31520 • 912.264.7218
COASTALGADNR.ORG

MARK WILLIAMS
COMMISSIONER

DOUG HAYMANS
DIRECTOR

Shore Protection Act O.C.G.A. 12-5-230 Standard Permit Conditions for Dune Crosswalks

~~Only one crosswalk structure shall be allowed on a parcel.~~ In considering the design and routing of a crosswalk, the shortest route over the lowest area of the dunes shall be plotted to minimize impacts to the sand sharing system. For new construction, no decks or viewing platforms will be approved in the jurisdictional area. Previously permitted and grandfathered structures may be maintained provided they are serviceable. Additionally, the applicant requesting the structure must own 100% of the private lands through which the structure crosses or have the express written permission of the owner.

The following standard conditions shall apply to dune crosswalks:

- ~~1. The height of the structure shall be at least 36" above the grade of the sand dune and the width shall be no greater than 6' as measured from the outside posts, to allow for sand movement or accretion in the dynamic dune field.~~
- ~~2. The terminal point of the crosswalk shall be seaward of the seaward most dune but shall not encroach seaward of the ordinary high water line in the active intertidal beach.~~
- ~~3. If the shoreline erodes and the crosswalk extends seaward of the ordinary high water line, it will be the responsibility of the applicant to move the permitted improvements back to the dry sand beach, landward of the ordinary high water line.~~
- ~~4. The structure shall begin at the toe of the landward most dune.~~
5. Heavy equipment is prohibited in the Shore Protection Act jurisdiction. This project must be constructed using hand tools.
6. Clearing and grading of dunes is not authorized in conjunction with the construction of this project; stockpiling of materials in the dunes is prohibited.
7. Vegetation may be cleared only for the width of the permitted structure. The maintenance trimming of jurisdictional vegetation will only be allowed within 6" of the sides of the structure and 7' high over the structure.
8. No motorized vehicles are permitted on the crosswalk structure, except for motorized wheelchairs for handicapped persons.
9. Any sand needed to restore the site to pre-project vegetated and topographic conditions, or for backfilling, must be beach quality and obtained from an upland source and not from the beach.

LAND DESIGN ASSOCIATES, INC.

228 Redfern Village #203
St. Simons Island, GA 31522
912.571.1137
LandDesignAssociates@gmail.com

11/5/2019

Mrs. Amy Flowers
Coastal Resources Division
Georgia Department of Natural Resources
One Conservation Way, Suite 300
Brunswick, Georgia 31520

Dear Mrs. Flowers,

This Letter shall serve as a request to rebuild a beach access crossover at Villas by the Sea Resort, located at 1175 N Beachview Dr., Jekyll Island, GA, 31527. Villas by the Sea was required to partially remove this previously permitted walkway (Object F on attached Master Plan, Crossover #5) due to Phase I of the Jekyll Island Beach Revetment Project that commenced in 2018. Phase II of the project, consisting of the backfilling of sand behind the rock barrier and revegetation of dune planting has been completed.

The proposed beach access crossover shall utilize existing crossover structures that remain from the portions that were removed for the rock revetment work. From that existing structure there will begin the modified section agreed upon in an attached email correspondence between Villas By The Sea Condominium Association, Inc. General Manager, Dick Coyle, and Ben Carswell, Director of Conservation Jekyll Island, which states, "we will not be using the span that previously crossed the beach behind the rocks which was removed for the revetment. Stairs would be constructed from the current walkway section down to the sand, then walk across to the next set of stairs that will go up and over the rocks down to the beach."

Current Existing Conditions:

The existing conditions of the crossover are as follows: A 108'-9" long section (Section 1) of the irregular-shaped crossover remains from the Villas property easterly towards the beach with deck boards 6' in width and hand rails varying in width from 5'-10" to 6'-2" due to it leaning. Proposed steps begin where crossover sections were removed for the revetment construction and are described below. 23'-6" seaward lies the other remaining irregular shaped 6'-7" long x 8' wide crossover section

(Section 2) of the existing structure which includes a 2' x 6'-7" bench which shall be removed and is described in construction methods below. The total area of existing structure to be utilized is 742 sf (Section 1 - 689sf, Section 2 - 53sf)

Proposed Footprint:

Proposed stairs shall be added to the seaward end of Section 1 which are 6'2" wide by 6' length. Proposed stairs shall be added to the landward end of Section 2 that are 6' wide by 3' length. A proposed walkway 6' wide by 20' length extends seaward from Section 2 and proposed stairs 6' wide and 24' length descend the seaward side of the revetment to the beach. The total area of proposed structures is 1050 sf (Section 1 - 728 sf, Section 2 - 322 sf). See table below for area breakdowns.

Name		Square Footage
Section 1	Existing Crosswalk	690
	Proposed Stairs - descending seaward from existing crosswalk	38
Subtotal		728
Section 2	Proposed Stairs - landward side of section 2	18
	Existing Crosswalk - minus bench to be removed	40
	Proposed Crosswalk - spanning the rock revetment	120
	Proposed Stairs - descending to the seaward side of revetment	144
Subtotal		322
Total of Crossover Structures		1050

Construction Methods:

All construction access shall occur from the applicant's property. The work shall be performed by a Georgia Licensed General Contractor with power hand tools. Construction activity around the existing structures and proposed structures shall minimize disturbance to within 3 feet of the structures. No equipment or machinery shall enter the jurisdiction area. Any excavated sand shall be minimal and replaced back in its original location. Materials shall be marine grade pressure treated wood and marine grade stainless steel fasteners and hardware. Best Management Practices (BMPs) shall be used and no unauthorized equipment, materials, or debris shall be placed, disposed of, or stored in the jurisdictional areas. The bench in Section 2 shall be removed with hand tools and disposed or recycled properly.

Villas By-The-Sea Resort has now endured 2 summers without beach access for their resort guest and property owners. The rebuilding of this one walkway will greatly assist with their hotel marketing efforts and guest satisfaction regarding beach access for the resort.

We appreciate your consideration of this request and we anticipate work to begin as soon as we receive permission to proceed from your agency

Best regards,

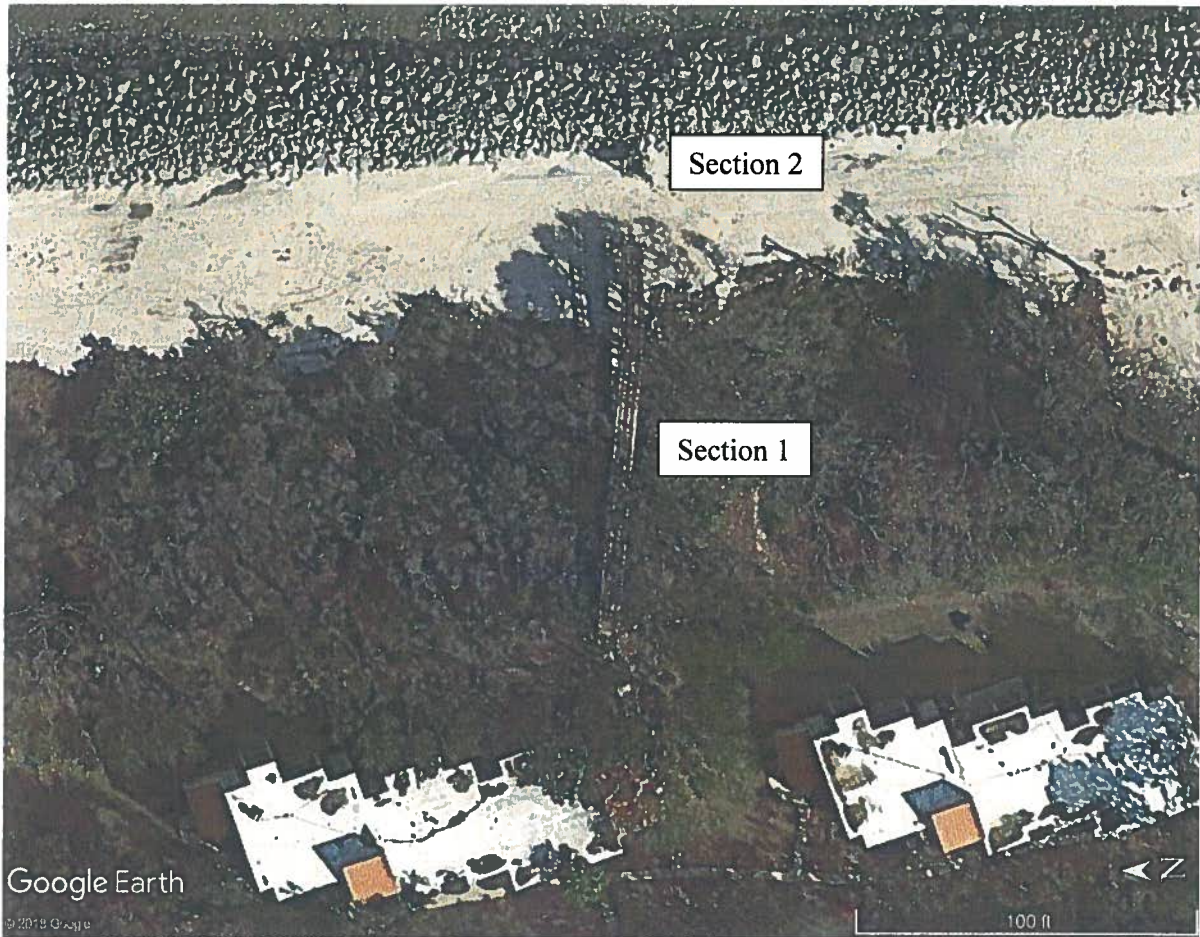


Jeff Homans
Landscape Architect
Land Design Associates, Inc.

Attachments:

- Aerial Photograph – Showing existing conditions
- Emails – Showing the modification notes from Ben and Dick and the approval of JIA to help Villas accomplish the reconstruction
- Master Plan – Showing location of Crossover #5 for which this LOP regards
- LOP Plan – Showing the plan view and section view of the beach access
- Signed LOP Plan – signed by Ben Carswell with JIA approving the project
- Revocable License

Aerial photograph – Showing existing beach access



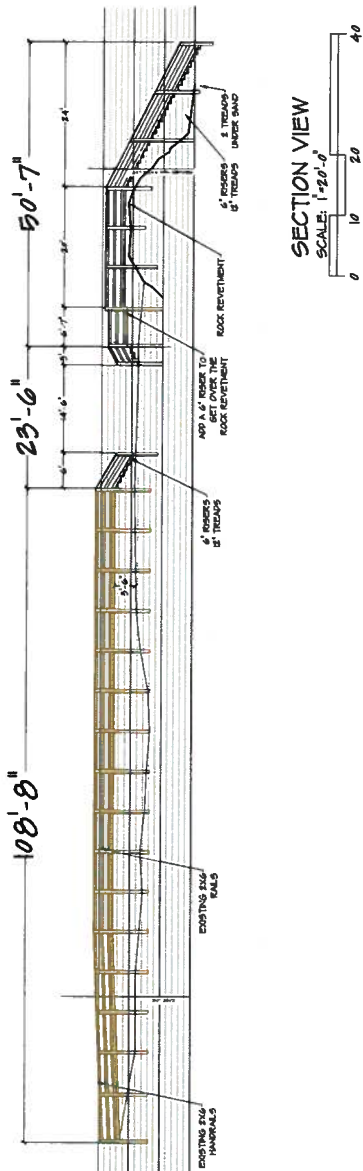
Emails – Showing the modification notes between Ben Carswell and Dick Coyle

Ben Carswell's Response Email (8/23/19) - "After October it definitely won't be an issue, but I was under the impression that the Villas folks were no longer proposing to rebuild a continuous structure from the upland to the revetment at the southernmost crossover location (the one they are looking to do ASAP). If it's not continuous, that's helpful for my project to maintain access for planting the sand fill in October. That's the latest I'd heard from Dick, but if plans are evolving let me know. I could possibly revisit making adjustments to my planting-access plan if I had to and see if there's any viable alternatives. Helping the Villas meet their goals on this is definitely a priority for JIA too."

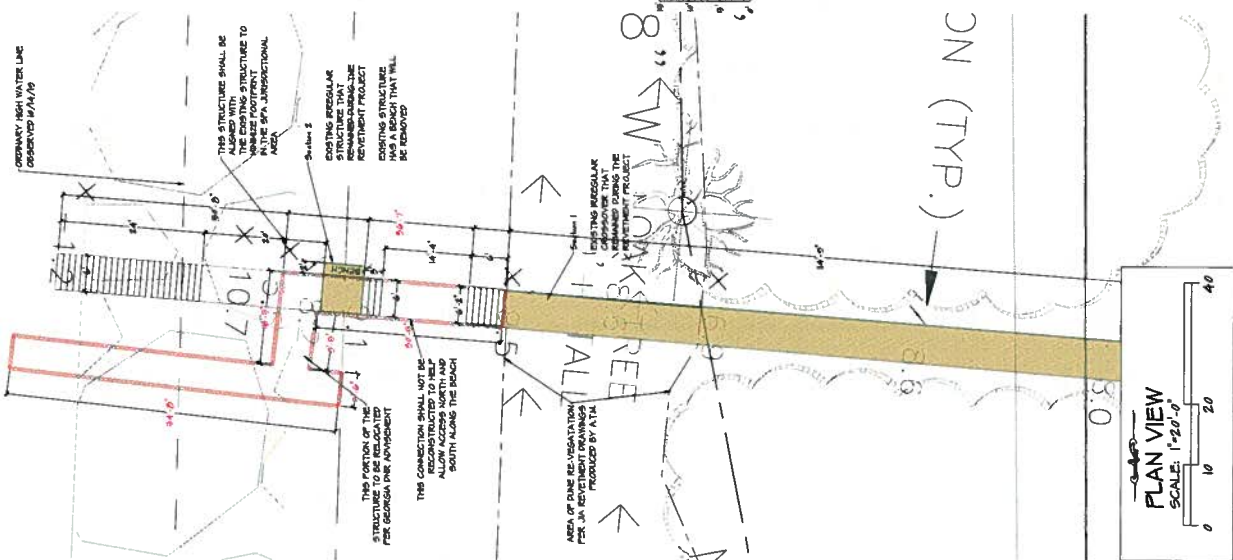
Dick Coyle's Response Email (8/27/19) - "At last night's meeting, the Villas BOD vote to approve a modification to #5 crossover- we will NOT be using the span that previously crossed the beach behind the rocks which was removed for the revetment. Stairs would be constructed from the current walkway section down to the sand, then walk across to the next set of stairs that will go up and over the rocks down to the beach. The contractor will be able to repurpose many of the materials from the sections that were removed to facilitate this modification and indicated that probably 5-6 steps is all that might be needed to attach to the 2 current walkway remnants."



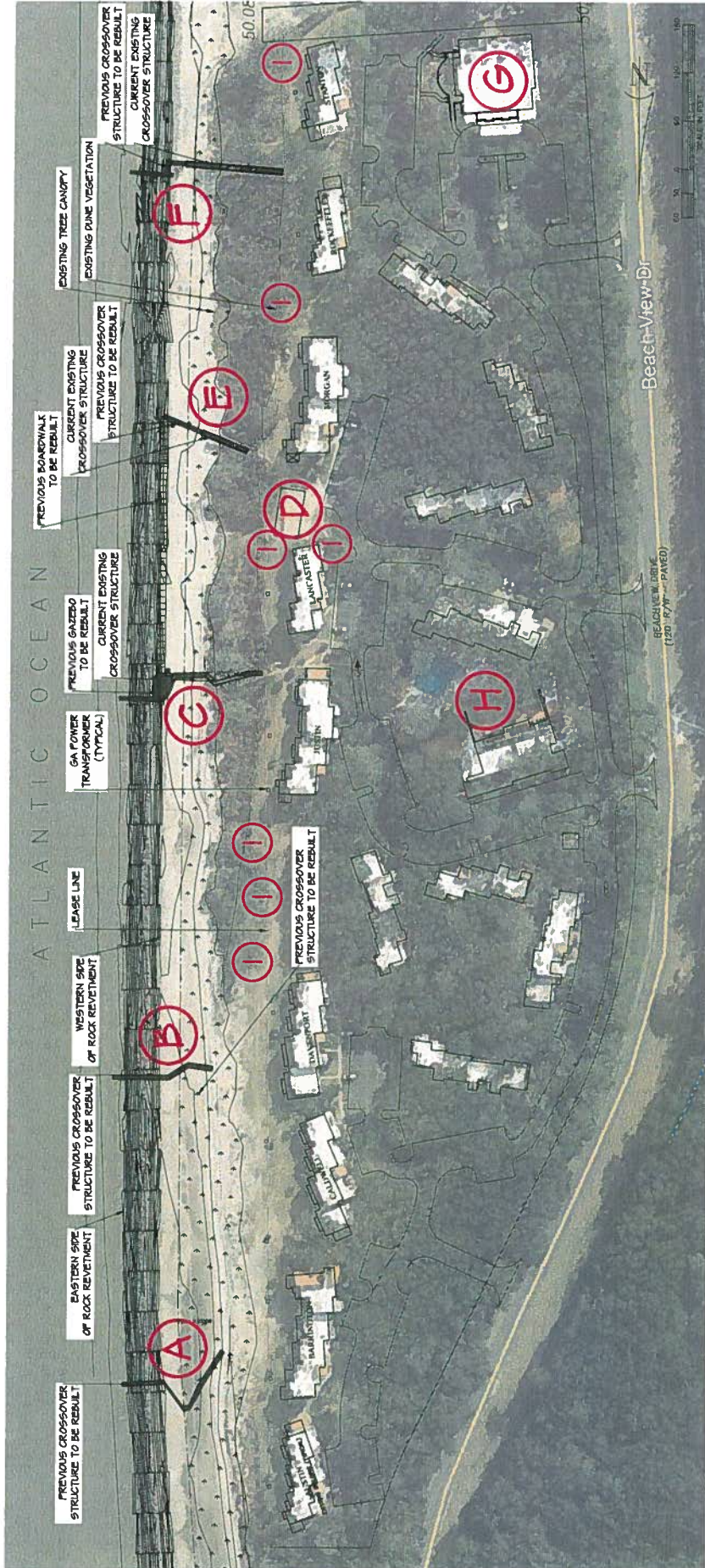
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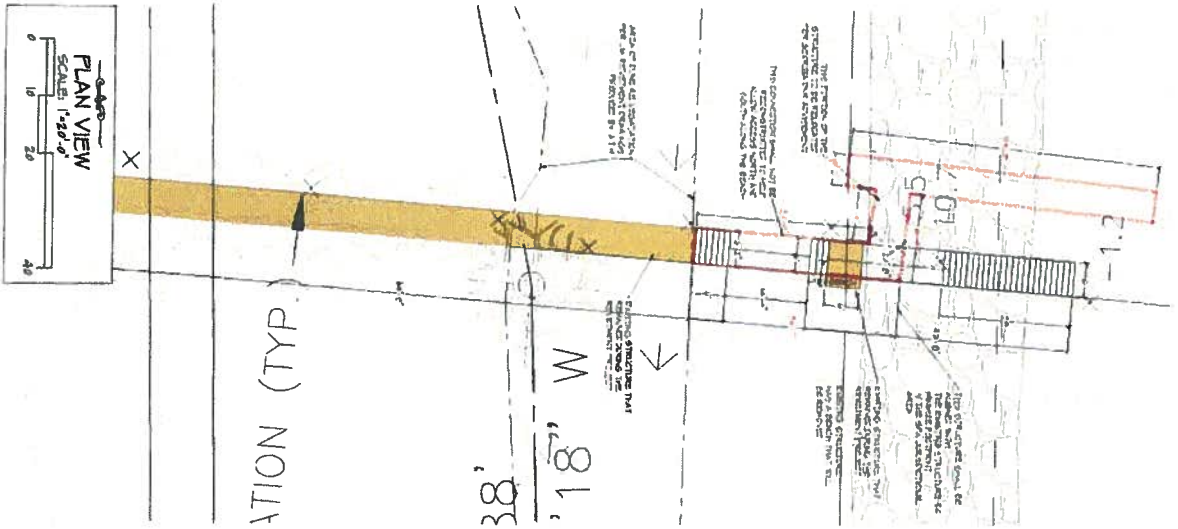
SECTION VIEW
 SCALE: 1"=20'-0"



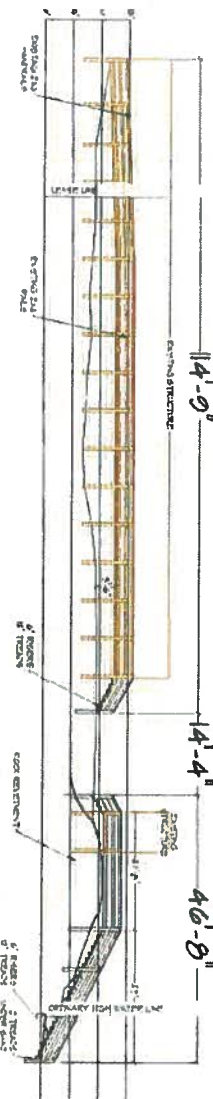
PLAN VIEW
 SCALE: 1"=20'-0"



- A** BEACH CROSSOVER #1
RECONSTRUCT TO LAND ON NEW REVETMENT BEACH
- B** BEACH CROSSOVER #2
RECONSTRUCT TO LAND ON NEW REVETMENT BEACH
- C** BEACH CROSSOVER #3
RECONSTRUCT TO ORIGINAL LAYOUT WITH GAZEBO
- D** BEACH PAVILION
REMOVE VOLLEYBALL COURT AND EXPLORE OPTIONS FOR A COVERED BEACH PAVILION
- E** BEACH CROSSOVER #4
RECONSTRUCT TO LAND ON NEW REVETMENT BEACH
- F** BEACH CROSSOVER #5
RECONSTRUCT TO ORIGINAL LAYOUT
- G** CONVENTION CENTER
- UPDATE CURB APPEAL
- IMPROVE BREAKOUT SPACE WITH OVERHEAD COVER, FURNITURE, LIGHTING
- H** WELCOME CENTER AND POOL
- POSSIBLE FRONT ENTRANCE ENHANCEMENT
- NEW LAYOUT OF RENTABLE SPACE FOR GROUPS
- CREATE VALUE OPPORTUNITIES WITH VEGETATIVE PARTITIONS BETWEEN SPACES
- I** PICNIC/GRILL AREAS
- ENHANCE EXISTING AREAS, RELOCATING SOME FOR OPTIMAL ACCESS FOR EACH BUILDING
- EACH SPACE SHALL HAVE A GRILL, TABLE, TRASH CAN, AND LIGHT SOURCE



SECTION (TYP.)



SECTION VIEW
SCALE: 1/8\"/>

B. CARSWELL
J.I.A.
10.22.2019

Rev: 10/21/19
Rev: 10/15/19
Date: 8/19/19
Scale: see detail
Sheet: L1



GA DNR Letter of Permission for
Villas by the Sea
1175 Beachview Dr - Jekyll Island, Georgia

LAND DESIGN
ARCHITECTURE
DESIGN/BUILD
PLANNING
CONSULTING



COASTAL RESOURCES DIVISION
ONE CONSERVATION WAY • BRUNSWICK, GA 31520 • 912.264.7218
COASTALGADNR.ORG

MARK WILLIAMS
COMMISSIONER

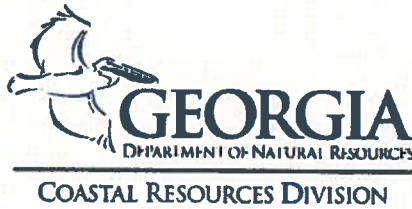
DOUG HAYMANS
DIRECTOR

Shore Protection Act O.C.G.A. 12-5-230 Standard Permit Conditions for Dune Crosswalks

~~Only one crosswalk structure shall be allowed on a parcel.~~ In considering the design and routing of a crosswalk, the shortest route over the lowest area of the dunes shall be plotted to minimize impacts to the sand sharing system. For new construction, no decks or viewing platforms will be approved in the jurisdictional area. Previously permitted and grandfathered structures may be maintained provided they are serviceable. Additionally, the applicant requesting the structure must own 100% of the private lands through which the structure crosses or have the express written permission of the owner.

The following standard conditions shall apply to dune crosswalks:

- ~~1. The height of the structure shall be at least 36" above the grade of the sand dune and the width shall be no greater than 6' as measured from the outside posts, to allow for sand movement or accretion in the dynamic dune field.~~
- ~~2. The terminal point of the crosswalk shall be seaward of the seaward most dune but shall not encroach seaward of the ordinary high water line in the active intertidal beach.~~
- ~~3. If the shoreline erodes and the crosswalk extends seaward of the ordinary high water line, it will be the responsibility of the applicant to move the permitted improvements back to the dry sand beach, landward of the ordinary high water line.~~
- ~~4. The structure shall begin at the toe of the landward most dune.~~
5. Heavy equipment is prohibited in the Shore Protection Act jurisdiction. This project must be constructed using hand tools.
6. Clearing and grading of dunes is not authorized in conjunction with the construction of this project; stockpiling of materials in the dunes is prohibited.
7. Vegetation may be cleared only for the width of the permitted structure. The maintenance trimming of jurisdictional vegetation will only be allowed within 6" of the sides of the structure and 7' high over the structure.
8. No motorized vehicles are permitted on the crosswalk structure, except for motorized wheelchairs for handicapped persons.
9. Any sand needed to restore the site to pre-project vegetated and topographic conditions, or for backfilling, must be beach quality and obtained from an upland source and not from the beach.



MARK WILLIAMS
COMMISSIONER

A.G. 'SPUD' WOODWARD
DIRECTOR

JUL - 9 2014

Mr. Richard Coyle
Villas by the Sea
1175 N. Beachview Dr.
Jekyll Island, GA 31527

RE: Shore Protection Act (SPA) Permit #375, Villas By The Sea, Construction and Maintenance of Boardwalks and Research Antennas, Jekyll Island State Park, Jekyll Island, Glynn County, Georgia.

Dear Mr. Coyle:

This letter is in response to your request of February 28, 2014 for an extension of Shore Protection Act Permit 375 issued on July 10, 2009. It is the understanding of staff that the project as permitted has not been completely built-out at this time and you are requesting an extension.

O.C.G.A. 12-5-239(e) states, "Every permit shall require that the proposed project be completed within five years after the date of the issuance of the permit and such permit shall expire five years after the date of issuance. Such time may be extended an additional five (5) years upon showing that all due efforts and diligence toward the completion of the work have been made."

Per O.C.G.A. 12-5-239(e), staff authorizes the one-time extension of Shore Protection Act Permit #375 for an additional five (5) years. All conditions remain applicable as permitted on July 10, 2009. The extended expiration date for the permit will be July 10, 2019. Any changes or revisions to the project may require a new Shore Protection Act Permit.

If you have any questions or concerns feel free to contact Lisia Kowalczyk at (912) 262-3109.

Sincerely,

A.G. "Spud" Woodward
Director

enclosures: SPA Permit #375 Placard with extension, Copy of Original Permit Conditions,
Approved Plans

cc: File #SPA20090003

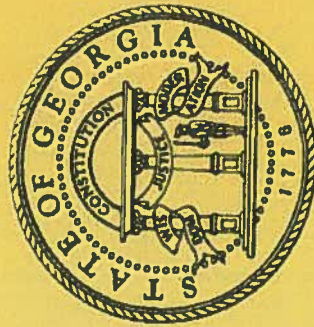
The Georgia Shore Protection Committee

PERMIT

Issued Pursuant to O.C.G.A. 12-5-230

To: Villas By The Sea


For: The modification is for the construction and maintenance of a boardwalk and placement of research antennas. No modification is permitted to the shrub-scrub trimming plan originally permitted. **Standard and special conditions apply to this permit.**



Date: July 10, 2009

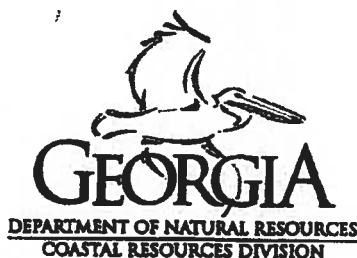
Expiration Date: July 10, 2018

Permit Number: 375

Authorized By: 



For further information, please contact the DNR Coastal Resources Division at (912) 264-7218



July 15, 2009

Craig Johnson
Villas By The Sea
1174 North Beachview Drive
Jekyll Island, Georgia 31527

**RE: Shore Protection Committee Permit Modification #375, Villas By The Sea,
Construction and Maintenance of Boardwalks and Research Antennas, Jekyll
Island State Park, Jekyll Island, Glynn County, Georgia**

Dear Mr. Johnson:

The Shore Protection Committee considered and approved the modification to SPA Permit # 375 referenced above on July 10, 2009 under the Shore Protection Act O.C.G.A. 12-5-230 et. seq. The permit placard and permit conditions are attached to this letter. All decision documents (attached), as well as all other plans, documents and materials submitted during the application process become terms of this permit and are now enforceable conditions. **You may begin construction as soon as August 9, 2009, provided there is no legal appeal of this permit, you have all other necessary federal, state and local authorizations and you have met all of the standard and special conditions as required by this permit.**

Permitted Project Description:

The modification is for the construction and maintenance of a boardwalk and placement of research antennas. No modification is permitted to the shrub-scrub trimming plan original permitted. The boardwalk includes connecting crosswalks #2 and #3 (Gazebo) with a 10' x 460' boardwalk and connecting crosswalks #3 and #4 with a 10' x 320' boardwalk. The 9' tall research antennas will be mounted on wooden posts to stabilize them. The antennas will be elevated for a total height of approximately 12'. Four (4) antennas will be located in the shrub-scrub habitat between crosswalks #1 and #2, seven (7) antennas are to be attached to the boardwalk rail between crosswalks #3 and #4 and five (5) antennas will be located in the shrub-scrub area between crosswalks #4 and #5. **Standard and special conditions apply to this permit.**

Permit and Construction Placards:

Enclosed is the permit placard to be posted at the work site (within 24 hours) for the duration of the construction activity. **Please note that you will also need to notify the Department when you are within 10-30 days of beginning your project to obtain a separate construction placard.** DNR staff will arrange a site visit to confirm the project footprint before construction begins and to initial the construction placard at the identified intervals during the project. This placard will also need to be posted at the site during construction.

Villas By The Sea
Modification to SPA # 375
July 15, 2009

Post Construction Requirements: Compliance Certification and File Maintenance

Also enclosed is a *Certification of Compliance* that must be submitted to us within 30 days following completion of the permitted activity. Department staff will assess compliance and provide you with a written verification of project completion and compliance.

This letter and attachments are to be held by you for your files and for inspection by any authorized persons. The expiration date for the permit is five (5) years from the date of issuance. However, no construction may commence within the area of jurisdiction of the Act until the expiration of thirty (30) days following the date of issuance, provided there is no legal appeal of this permit, you have all other necessary federal, state and local authorizations and you have met all of the standard and special conditions as required by this permit.

Conveyance of Ownership Interest:

If you as the permit holder sell, lease, rent, or otherwise convey the land or any portion of the land for which the permit was issued, you must notify the Department within 30 days of this transfer or conveyance. The permit shall continue in force in favor of the new owner, lessee, tenant, or other assignee so long as there is no change in the use of the land as set forth in the original application. The Department will transfer the permit to the new owner with all of the original terms and conditions.

We ask that you carefully read through this document and attachments and comply with the terms and conditions of this permit. Feel free to contact me if you need clarification of any of these conditions or for assistance with this project.

Sincerely,



Susan Shipman
Director
Coastal Resources Division

Enclosures: SPA Permit # 375 and Permit Conditions, Compliance Certificate

**cc with approved permit drawings: Jekyll Island Authority
Trent Moore, SKIO**

SS/at



**Shore Protection Committee Modification of Permit #375
Final Conditions
July 10, 2009**

**Villas By The Sea
Construction and Maintenance of Boardwalks and Research Antennas
Atlantic Ocean, Jekyll Island, Georgia**

Project Description: The modification is for the construction and maintenance of a boardwalk and placement of research antennas. No modification is permitted to the shrub-scrub trimming plan original permitted. The boardwalk includes connecting crosswalks #2 and #3 (Gazebo) with a 10' x 460' boardwalk and connecting crosswalks #3 and #4 with a 10' x 320' boardwalk. The 9' tall research antennas will be mounted on wooden posts to stabilize them. The antennas will be elevated for a total height of approximately 12'. Four (4) antennas will be located in the shrub-scrub habitat between crosswalks #1 and #2, seven (7) antennas are to be attached to the boardwalk rail between crosswalks #3 and #4 and five (5) antennas will be located in the shrub-scrub area between crosswalks #4 and #5. Standard and special conditions apply to this permit.

**SHORE PROTECTION ACT O.C.G.A. § 12-5-230
STANDARD PERMIT CONDITIONS**

1. The project must comply, as applicable, for areas permitted herein, with all other Federal, State, and local statutes, ordinances, and regulations, and the applicant must obtain all licenses and permits prior to commencement of construction.
2. This permit does not resolve actual or potential disputes regarding ownership of or rights in or over the property upon which the subject project is proposed, and shall not be construed as recognizing or denying any such rights or interests.
3. All plans, documents, and materials contained in this permit application, required by the Shore Protection Act O.C.G.A. 12-5-230 et. seq. are a part of this permit and conformance to such plans, documents, and materials are a condition of this permit. No change or deviation from these plans, documents, and materials shall be permitted without prior notification and approval by the Department or Committee.
4. No further encroachment or construction shall take place within State jurisdiction, except as permitted by the Shore Protection Committee. Any modification of the plans or structure in the jurisdictional area must be reviewed and approved by the Department prior to construction.
5. A construction placard will be required to be obtained from the Department up to 30 days prior to the start of project construction and must be posted at the site. This placard will include certain steps in the construction of the permitted project that must be approved by the Department prior to construction.

**Villas By The Sea- Final Permit Conditions
Modification of SPA #375
July 10, 2009**

6. **The exact location and configuration of this project must be reviewed onsite and approved by Department staff immediately prior to beginning construction. Minor changes to the location may be allowed or required in areas that have eroded or accreted subsequent to the original jurisdictional determination.**
7. **No construction materials may be disposed of in the jurisdictional area of the Shore Protection Act.**
8. **Any incidental impacts associated with the construction of this project must be rectified by restoring areas to their pre-construction topographic and vegetative states.**
9. **The public shall maintain rights of ingress and egress on the foreshore beach area seaward of the ordinary high water mark.**
10. **If the permitted improvements are damaged, fall into disrepair, become dilapidated, are not meeting their expected usefulness, or are not maintained at a serviceable level, then it is the responsibility of the owner to remove the improvements. A new permit will be required to retain and repair the structure, improvement or asset if it loses its structural integrity and is no longer serviceable.**
11. **The Shore Protection Committee is not bound in the future to protect any asset or improvements authorized by the permit.**
12. **The permit must be posted onsite within twenty-four (24) hours of beginning construction.**
13. **A copy of the above conditions must be supplied to the person in charge of construction.**

SPECIAL CONDITIONS:

1. **The permittee must comply with all applicable conditions associated with the shrub-scrub trimming as approved under Shore Protection Act Permit #375, issued on August 24, 2007.**
2. **During and after construction, external lighting must conform to Jekyll Island- State Park Authority Beach Lighting Ordinance.**
3. **Native understory ground cover in the project area must not be impacted.**
4. **No heavy machinery is allowed in the dune area.**
5. **Permittee must provide a post-construction survey of subject parcel depicting all structures. The survey must be performed by a surveyor registered in the State of Georgia and must comply with appropriate professional industry standards.**



CERTIFICATION OF COMPLIANCE

**FOR THE CONSTRUCTION AND MAINTENANCE
OF PROJECTS PERMITTED UNDER
THE SHORE PROTECTION ACT**

PERMITTEE:

Name: Villas By The Sea
Address: 1174 North Beachview Drive
City or Town: Jekyll Island, Georgia
Waterway or Island: Atlantic Ocean
County: Glynn
Permit Number: SPA # 375

Within 30 days of completion of the activity authorized by this permit, sign this certification and return it to the Habitat Management Program of the Ecological Section at the address listed below.

Please note that your permitted activity is subject to compliance inspections by DNR representatives before and after completion of the project. If you fail to comply with the permit terms and conditions it may be subject to suspension, modification, or revocation.

Permittee Statement

"I hereby certify that the work authorized by the above referenced permit has been completed in accordance with the terms and conditions of the said permit."

Signature of Permittee: _____

Date: _____

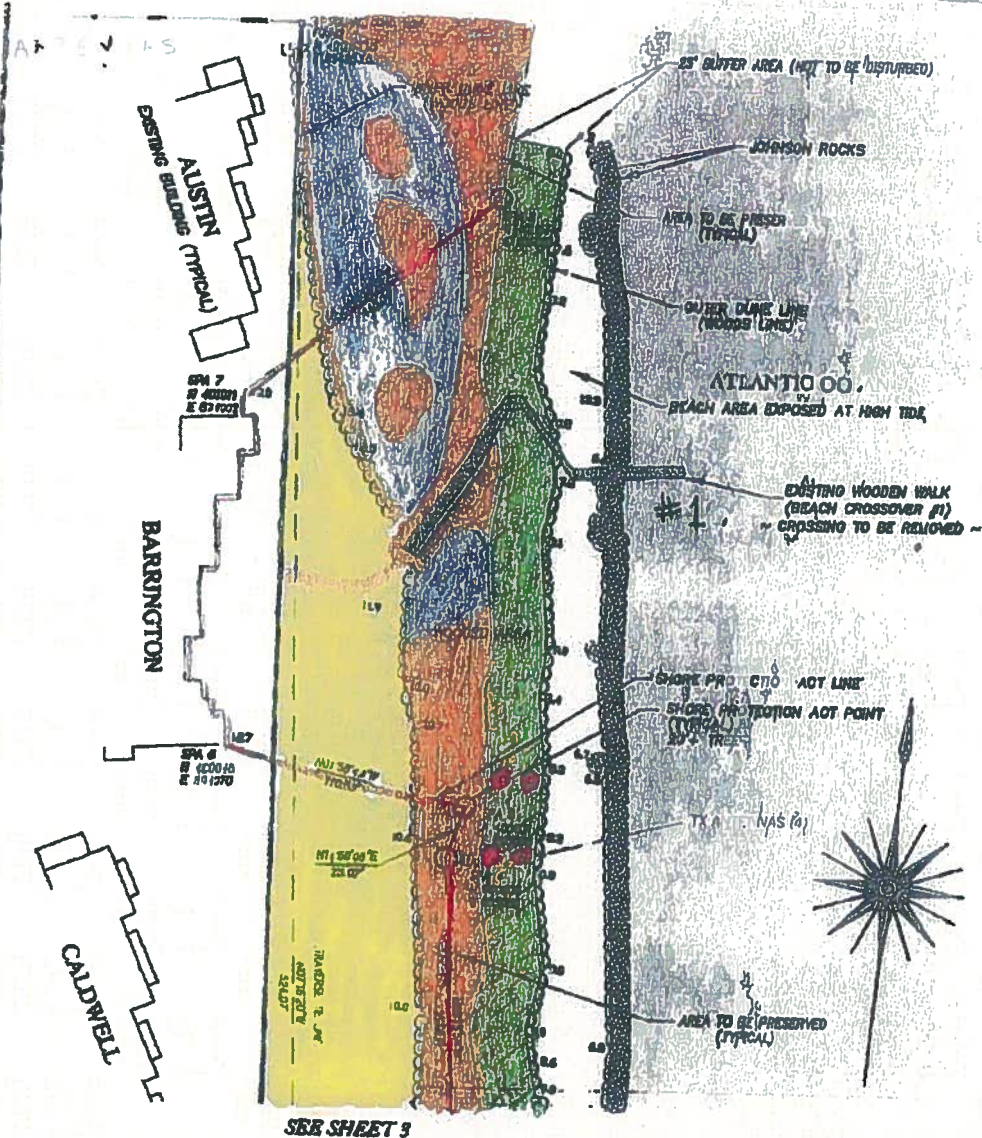


L.R.I.E
 14' ST
 10 SEES
 UNDER BRUSHING
 AREA BEYOND LEASE PERMIT
 GA DNR/HMP

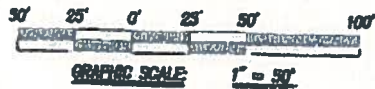
ADAPTION MODIFIED TROPICAL SERVICE OF
VILLAS BY THE SEA
 JEMTL ISLAND STATE PARK
 1606A G.A. D. GLYNN COUNTY GEORGIA
 SHEET 2 OF 5

MAR 8 '09

GA DNR/HMP



SBB SHEET 3



SHEET 2 OF 5

DATE OF PLAN: **SEPTEMBER 11, 2008**
 DATE OF FIELD SURVEY: **JULY 11, 2008**



JACKSON SURVEYING, INC.
 Surveyors and Land Planners

3328 DARDEN HIGHWAY, SUITE 217
 BRUNSWICK, GEORGIA 31525

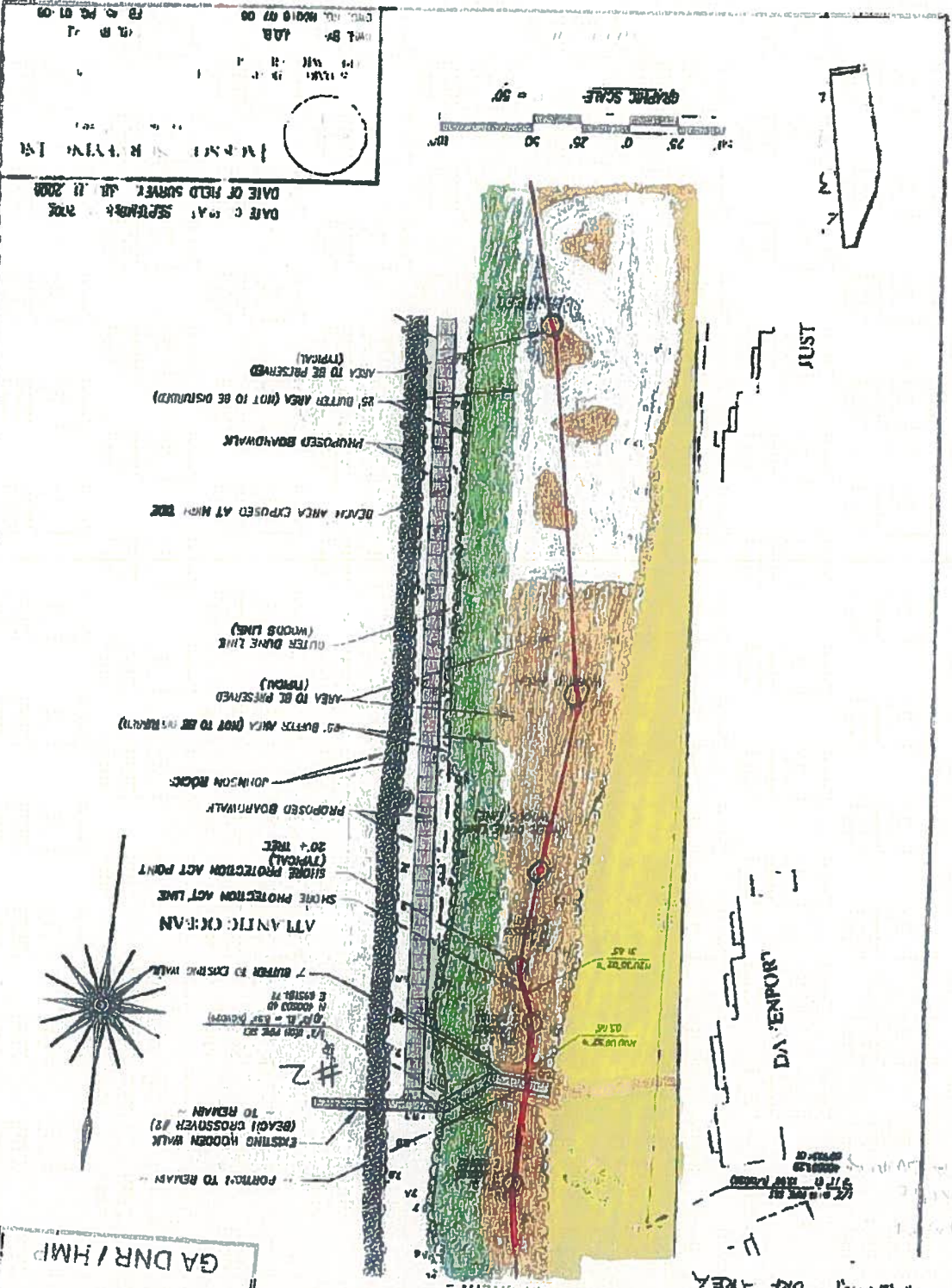
TEL: 912-263-3820
 FAX: 912-263-6320

DRAWN BY: **J.R.B.**
 LMSA NO. 00049 07-08

CVD BY: **J.R.**
 REG. NO. 01-08

DECISION DOCUMENTS

DECISION DOCUMENTS



GA DNR/HMP
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PROJECT

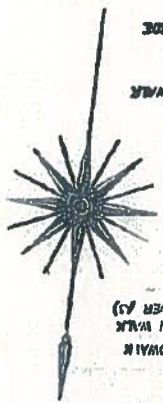
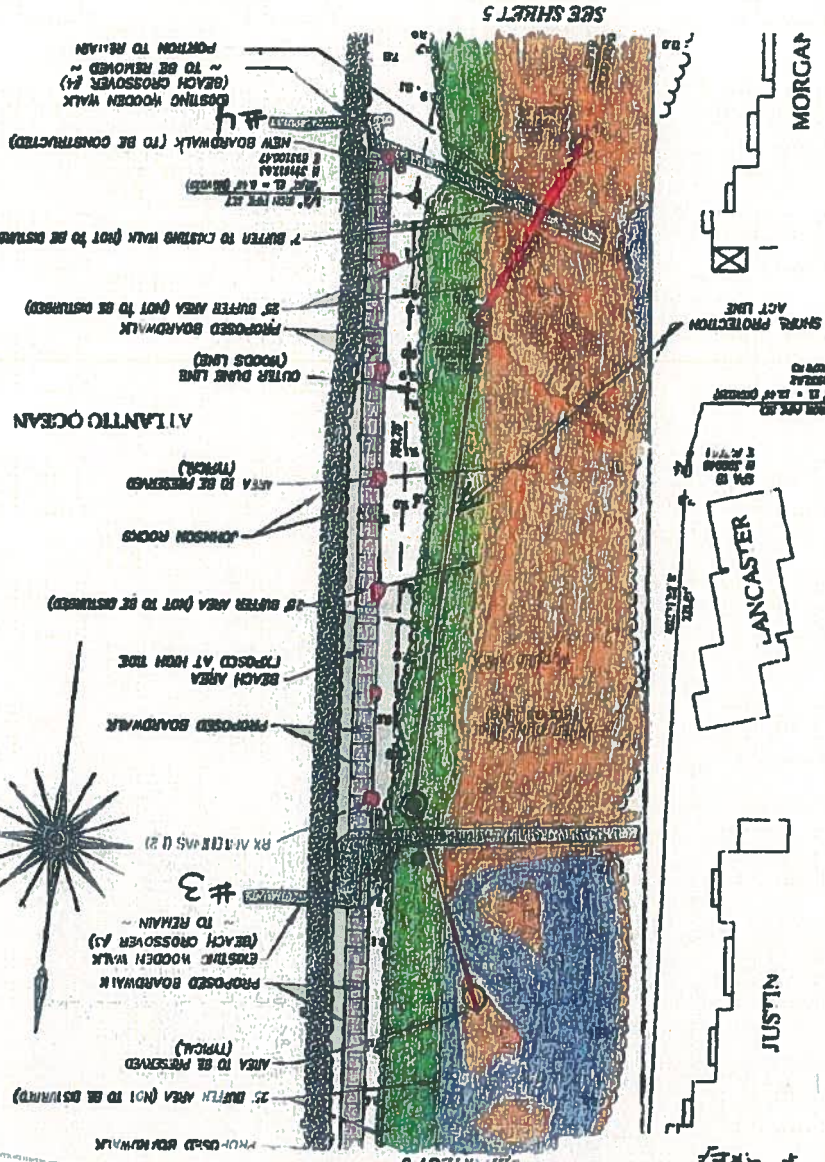
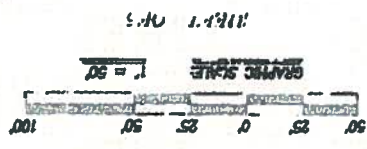


DECISION DOCUMENTS

DATE OF FIELD SURVEY: JULY 11, 2008
 DATE OF PLAT: SEPTEMBER 11, 2008

JACKSON SURVEYING, INC.
 Surveying and Land Planning

16' 11" x 8" - 2008
 16' 11" x 8" - 2008
 16' 11" x 8" - 2008
 16' 11" x 8" - 2008



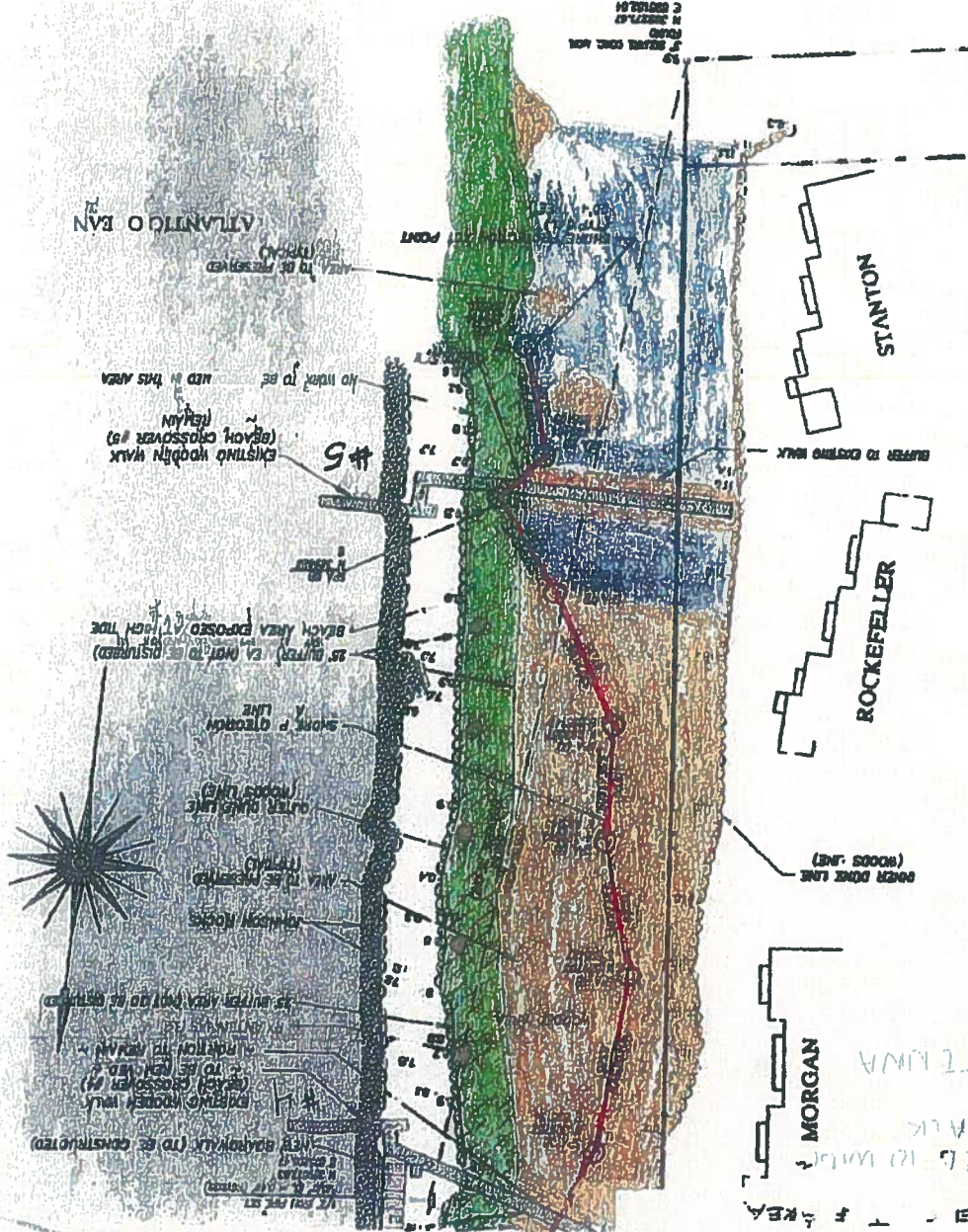
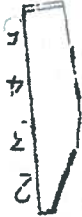
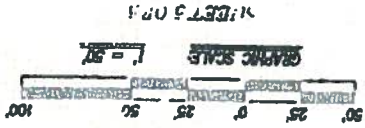
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 MAR 28 2009
 CIVIL ENGINEERING DEPARTMENT
 UNIVERSITY OF CALIFORNIA

VILLAS BY THE SEA
 JACKSON ISLAND STA. & PARK
 JACKSON COUNTY, CALIFORNIA

EXISTING GRASSES
 EXISTING UNDER BRUSHING
 10' BUFFER AREA



DECISION DOCUMENTS
 JACKSON SURVEYING, INC.
 Surveyor and Land Planner
 DATE OF PLAT: SEPTEMBER 11, 2008
 DATE OF FIELD SURVEY: MAY 11, 2008



MAY 28 2009
 JACKSON SURVEYING, INC.
 DNR / HMP

VILLAS BY THE SEA
 JACKSON SURVEYING, INC.
 SHEET 5 OF 5
 E. TRAP AREA BEYOND LEASE AREA

PROPERTY TO BE MAINTAINED
 PARCELS
 BY ATLANTIC



DECISION DOCUMENTS

LXV KML SUPPORTS

LXV POSTS

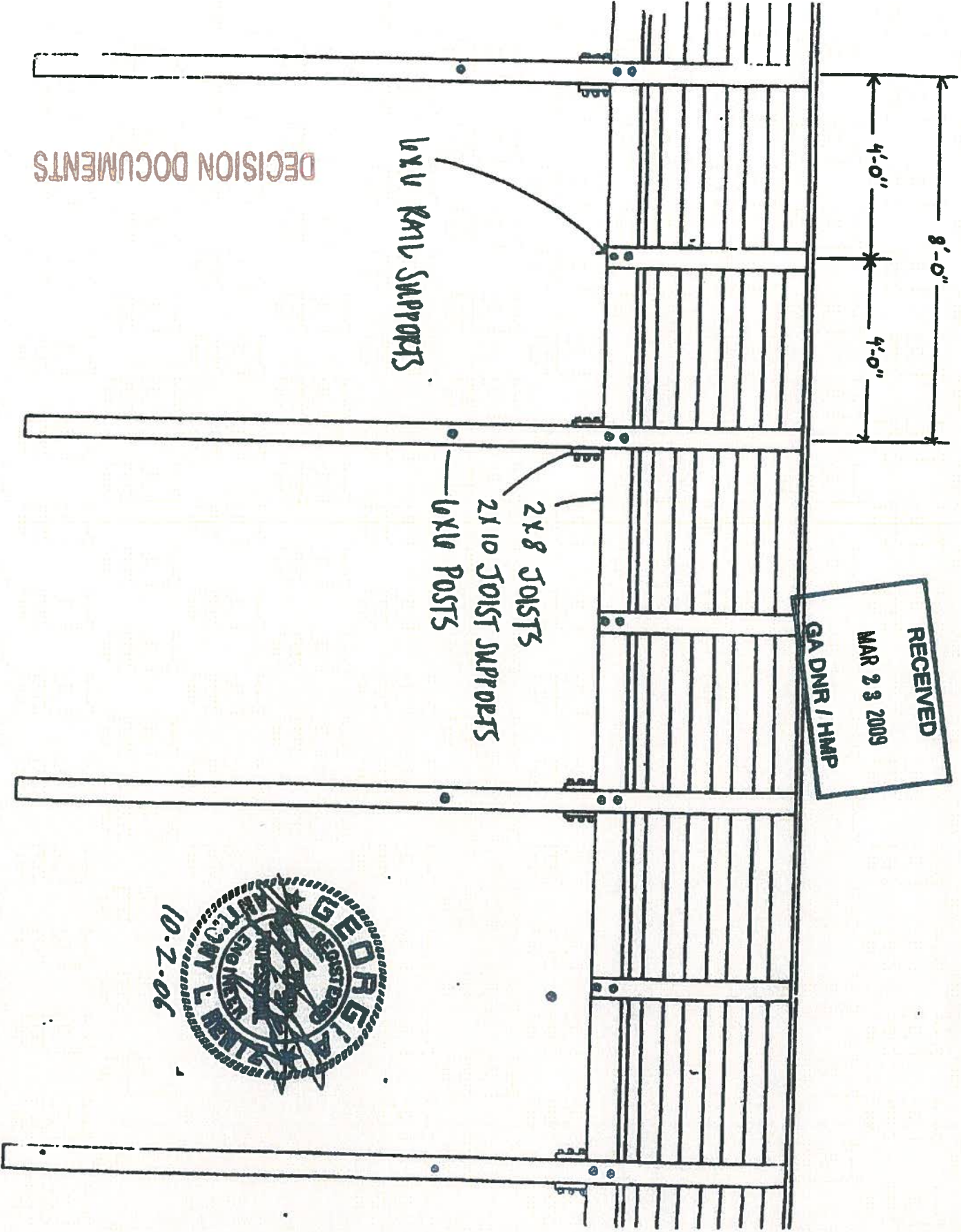
2X10 JOIST SUPPORTS

2X8 JOISTS

RECEIVED
MAR 23 2009
GA DNR / HMP



Revised 8/31/02



Villas by the Sea
RESORT & CONFERENCE CENTER

February 28, 2014

Mr. Karl Burgess
Department of Natural resources
Coastal Resources Division
One Conservation Way
Suite 300
Brunswick, GA 31520-8687

RE: Permit Modification 375

Sent via email and USPS

Dear Karl:

I am writing in reference to a previously approved permit dated July 10, 2009, issued to Villas by the Sea for construction of a 10' x 460' boardwalk, which would connect existing crosswalks currently identified as #2 and #3, with the current gazebo and boardwalk. Over the past year, an area of beach along our Northern boundary has experienced additional erosion issues. We have had to stabilize the crosswalk (#1) with additional 2"x4" boards and added concrete to existing foundation supports bases, within the same footprint, to reduce the instability of this crosswalk. This erosion is being caused by waves over-topping the Johnson Rocks, which have been partially buried and pushed aside from heavy surf over the years. We have contracted an engineering firm, Olsen & Associates from Jacksonville, FL, to revisit this area and provide an update to an engineering study performed in March of 2010. This revised report will hopefully provide insight as what remedies may be available to stem the erosion currently underway. I also met recently with Jones Hooks with the JIA, expressing our concerns as to who ultimately is responsible for maintaining this area. The dune line in this area is also experiencing significant deterioration in several sections.

Last year, the Villas Board of Directors were preparing to approve funding for some major infrastructure improvements to the property, including installation of a fiber optic network, conference center remodeling and the boardwalk expansion. New hotel developments on Jekyll warrant these improvements in order to remain competitive in the marketplace. However, with the uncertainties as to what costs may be associated with beach repairs, all of these projects are now on hold.

While the boardwalk expansion is still a viable project, the timeline for completion prior to the July 10, 2014 expiration, will need to be delayed. I am requesting an extension to this permit in order for us to determine how best to allocate funding before proceeding with boardwalk expansion.

I appreciate your attention to this request and please feel free to contact me with any questions you may have regarding this permit.

Sincerely, 

**Richard Coyle
General Manager
Villas by the Sea**