



COASTAL RESOURCES DIVISION
ONE CONSERVATION WAY · BRUNSWICK, GA 31520 · 912-264-7218

WALTER RABON
COMMISSIONER

DOUG HAYMANS
DIRECTOR

MAR 18 2026

The Cottages at Jekyll Island
c/o Jeff Rysenga
200 Turtle Track Lane
Jekyll Island, GA 31527

Re: Letter of Permission (LOP), Maintenance and Repair of Two Crosswalks Within Shore Protection Act (SPA) Jurisdiction, Shore Protection Act Permit #442, The Cottages at Jekyll Island, Jekyll Island, Glynn County, Georgia (GPS 31.08943°N/-81.40345°W)

Dear Mr. Rysenga:

This Letter of Permission (LOP) is in response to your request dated December 12, 2025, to repair and maintain two existing crosswalks authorized under Shore Protection Act (SPA) Permit #442 at 975 Beachview Drive North, Jekyll Island, Glynn County, Georgia as described in the attached request. The project will begin no sooner than fifteen (15) days from the date of the letter and must be completed within six (6) months.

SPA Permit #442 was issued on April 15, 2016, for the construction of two crosswalks and modification of one crosswalk within SPA jurisdiction. Crosswalk one (1) was approved at 5ft. x 160ft. 4in., crosswalk two (2) was a modification to an existing partially built crosswalk with the new portion approved at 5ft. by 67ft., and crosswalk three (3) was approved to be constructed at 5ft. x 145ft. 7in. long. The sand dune and terrace berm, authorized under SPA Permit #465 Jekyll Island Shore Rehabilitation, delayed construction of the crosswalks. After the sand dune and terrace berm construction was completed, LOP20190152 was issued on March 12, 2020. LOP20190152 authorized modifications of the three crosswalks and a reduction in the total amount of structure within SPA jurisdiction. Crosswalk 1 included two sections totaling 103ft. 11in. in length by 5ft. wide. The landward section measures approximately 39ft. 6in. and includes ascending and descending steps measuring 5ft. by 5ft. respectively. Crosswalk 1 starts again, approximately 44ft. 4in. due east, as a 64ft. 5in. section that traverses the rock revetment, which includes a 10ft. by 5ft. ascending staircase and 13ft. by 5ft. staircase descending to the beach. Crosswalk 2 crosses the revetment and measures approximately 66ft. 6in. in length by 5ft. wide. On the west side, the crosswalk attaches to the existing crosswalk structure, which consists of a walkway extending from the area landward of SPA jurisdiction to an approximately 280sq.ft. and a 480sq.ft. fixed deck(s) with stairs leading to the beach on the landward side of the existing rock revetment. On the east side, the crosswalk traverses the rock revetment and includes a 15ft. by 5ft. staircase descending to the beach. Crosswalk 3 includes two sections totaling 122ft. 4in. in length by 5ft. wide. The landward section measures approximately 74ft. 5in. and includes descending steps measuring 7ft. by 5ft. Approximately 23ft. due east of section one, a 47ft. 11in. seaward section includes a 7ft. by 5ft wide ascending staircase and a 15ft. by 5ft. descending staircase to the beach.

Crosswalk 1, located on the south end of the property, and Crosswalk 3, located on the north end of the property, both sustained storm damage to the stairs on the seaward side of the rock revetment. Repairs to Crosswalk 1 to the south include replacement of the ascending stairs on the

landward side of the rock revetment, the walkway over the rocks, and the descending stairs on the seaward side of the rock revetment within the same footprint. Repairs to Crosswalk 3 to the north include rebuilding the section seaward of the rock revetment within the same footprint.

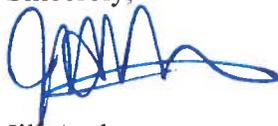
All construction access will occur from the subject property, and all work within jurisdiction will be accomplished using low impact hand tools and an excavator. The pilings landward of the rock revetment will be hydraulically driven with a 1,000lbs. hydraulic pile driving hammer and/or vibratory hammer attached to an excavator. All piles seaward of the rock revetment will be hand jetted. Removal of existing structures shall be removed to the dune surface. All construction debris will be removed and disposed of at an appropriate upland disposal site.

As these activities may occur between May 1st and October 31st, sea turtle nesting season, an individual with a DNR Sea Turtle Cooperators Permit is required to survey the area to be used prior to the work beginning. All sea turtle nests must be avoided, and no activity may occur within 20ft. of a nest area.

The Department authorizes the maintenance and repairs depicted in the attached project request and drawings. It is the applicant's responsibility to minimize any additional impacts at the site and to protect the shore jurisdictional areas. **No unauthorized equipment, materials, or debris may be placed, disposed of, or stored in jurisdictional areas.** Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states. This LOP is valid for the above referenced project. Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office could result in the revocation of this LOP and in the required removal of materials and related structures. This project must comply with all other Federal, State, and local statutes, ordinances and regulations.

If you have any further questions or concerns, please contact Beth Byrnes at (912)-264-7218.

Sincerely,



Jill Andrews
Chief, Coastal Management Section

Enclosures: Project Request, Drawings, Site Photos

Cc: Noel Jensen, njensen@jekyllisland.com
Yank Moore, ymoore@jekyllisland.com

File: LOP20260006

STATE OF GEORGIA

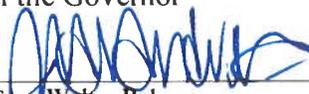
REVOCABLE LICENSE FOR THE USE OF TIDAL WATERBOTTOMS

APPLICANT NAME(S): The Cottages at Jekyll Island Homeowners Association, Inc.
MAILING ADDRESS: 200 Turtle Track Lane, Jekyll Island, GA 31527
(Street) (City) (State) (Zip)
PROJECT ADDRESS/LOCATION: 200 Turtle Track Lane, Jekyll Island, GA 31527
COUNTY: Glynn WATERWAY: Atlantic Ocean
LOT, BLOCK & SUBDIVISION NAME FROM DEED: The Cottages at Jekyll Island

The State of Georgia hereby grants you a revocable license not coupled with an interest¹. This area may now or in the future be utilized by boats employing power drawn nets under the provisions for commercial or sport bait shrimping. In its occupancy and use of the premises, licensee shall not discriminate against any person on the basis of race, gender, color, national origin, religion, age, or disability. This covenant by licensee may be enforced by termination of this license, by injunction, and/or by any other remedy available at law to the Georgia Department of Natural Resources.

Attached hereto and made a part of this license are the project description, drawing(s), and terms and conditions that are the subject of this license. The project approved for this license must be constructed and completed within the specified timeframe noted in the terms and conditions and must be maintained in serviceable condition. Otherwise, action will be initiated to revoke this license and all structures must be removed immediately at the licensee's expense.

STATE OF GEORGIA
Office of the Governor

By: 
For: Walter Rabon
Commissioner-DNR

Date: MAR 18 2026

Enclosures:

SPA Permit #442

¹ Tidal water bottoms and marshlands of coastal Georgia are public trust lands owned by the State, except where ownership of such lands is demonstrated through an unbroken chain of title to a valid Crown or State Grant, which explicitly conveys the beds of such tidewaters. The Revocable License authorizes use of lands presumed to be owned by the State of Georgia, and which are under control of the State. This Revocable License is issued with the understanding and condition that it could be rendered invalid should another person demonstrate ownership to such lands pursuant to a valid Crown Grant or State Grant. This Revocable License is issued with the understanding that such lands are subject to the public trust doctrine.

From: [Jeff Rysenga](#)
To: [Byrnes, Elizabeth](#)
Cc: [David Boyer](#); [Noble, Josh](#); [Noel Jensen](#); [Yank Moore](#)
Subject: Re: FW: crosswalk maintenance
Date: Wednesday, February 25, 2026 8:57:56 AM
Attachments: [DNR Tallu Fish updated 2.19.26.pdf](#)
[Signed Cottages Farrell Bro Proposal 2-13-2026.pdf](#)

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Good morning Elizabeth,

Please find attached our contractor's accepted proposal describing the scope of work, as well as a letter from the JIA just received yesterday with their approval as landowner.

Please forward the Letter of Permission when it is complete.

Thank you,

Jeff Rysenga
The Cottages at Jekyll Island HOA
260-667-0958

On Thu, Jan 15, 2026 at 7:18 AM Byrnes, Elizabeth <elizabeth.byrnes@dnr.ga.gov> wrote:

Good morning,

Thank you for the clarification. When you have spoken with JIA and the plans are finalized for the work, please let me know and send me the scope of work at that time. Please also provide written approval from JIA as the landowner for the work.

Keep in mind, once the Letter of Permission is signed by DNR it has to go on public notice for 15 days before work can begin.

Thank you,

Beth Byrnes
Coastal Permit Coordinator
[Coastal Resources Division](#)

Mobile: 912-266-0277

CRD Main Line: 912-264-7218

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From: Jeff Rysenga <jeff.rysenga@gmail.com>
Sent: Wednesday, January 14, 2026 4:12 PM
To: Byrnes, Elizabeth <elizabeth.byrnes@dnr.ga.gov>
Cc: David Boyer <daveboyer8@gmail.com>
Subject: Re: FW: crosswalk maintenance

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Hi Beth,

The contractor, Farrell Brothers Marine will be using a 7,000 lb class excavator, an 18,000 lb class excavator and a tandem axle trailer to carry materials as they did when they repaired our center crossover in 2024. The beach access point is on the south end of the Villas by the Sea property just to the north of The Cottages. We are also planning to discuss with the JIA traversing the rock revetment with one of the excavators in order to hydraulically drive two pilings and set the lower stairs on the seaward side.

Please call me if you have any other questions and thank you for your assistance.

Jeff Rysenga

260-67-0958

On Wed, Jan 14, 2026 at 2:40 PM Byrnes, Elizabeth <elizabeth.byrnes@dnr.ga.gov> wrote:

Good Afternoon Mr. Rysenga,

I am working on writing up an LOP for the crosswalk maintenance. Can you please confirm what equipment you're proposing to use landward of the rock revetment? Can you also please confirm how the area will be accessed?

Thank you,

Beth Byrnes
Coastal Permit Coordinator
[Coastal Resources Division](#)

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From: Byrnes, Elizabeth
Sent: Friday, December 12, 2025 12:48 PM
To: 'Jeff Rysenga' <jeff.rysenga@gmail.com>
Cc: Noble, Josh <Josh.Noble@dnr.ga.gov>; Noel Jensen <njensen@jekyllisland.com>; Yank Moore <y_moore@jekyllisland.com>; Dave Boyer <daveboyer8@gmail.com>
Subject: RE: crosswalk maintenance

Good Afternoon,

Thank you for the clarification. We should be able to permit the repairs to Crosswalk #1 and Crosswalk #3 within the same footprint using a Letter of Permission. Can you confirm what equipment you are proposing to use (e.g. excavator and skid steer)?

Yank, please reach out in regards to construction of a new path from the end of Tallu Fish when you are ready. We can get an SPA line flagged on site for you and would be happy to discuss the plans.

Thank you all,

Beth Byrnes
Coastal Permit Coordinator
[Coastal Resources Division](#)

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From: Jeff Rysenga <jeff.rysenga@gmail.com>
Sent: Tuesday, December 9, 2025 10:22 AM
To: Byrnes, Elizabeth <elizabeth.byrnes@dnr.ga.gov>
Cc: Noble, Josh <josh.noble@dnr.ga.gov>; Noel Jensen <njensen@jekyllisland.com>; Yank Moore <y.moore@jekyllisland.com>; Dave Boyer <daveboyer8@gmail.com>
Subject: Re: crosswalk maintenance

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Good morning Ms. Byrnes,

Thank you for your email with the March 2020 LOP.

I believe another LOP will suffice since we are proposing to rebuild within the same footprint. With reference to the March 2020 LOP and drawings, here is exactly what we are planning:

1. Crosswalk #1 Sheet 2 (South near 114 Turtle Track parcel 06-01047) The Cottages intend to rebuild the section that traverses the rock revetment in the same location and footprint as the one destroyed by a hurricane in 2023 that measured approximately 64' - 5". The landward section remains in good repair and will continue to be used by both JIA and The Cottages. The JIA plans to construct a new path from the end of Tallu Fish Lane for more direct access to the existing landward section by the public.
2. Crosswalk #3 Sheet 4 (North end of The Cottages near 256 Turtle Track, parcel 06-01151) The Cottages plan to rebuild the stairs on the seaward side of the seaward section of the existing 47' - 11" revetment crossover. The landward section remains in good repair.

Our intent is to complete repairs in March of 2026 after the JIA has completed the new path from Tallu Fish Lane and prior to turtle nesting season. Please note heavy equipment will be used on the sand fill area landward of the rock revetment to transport and manipulate materials but will not impact existing native vegetation.

Please let me know if you require additional information and thank you for your assistance.

Jeff Rysenga

The Cottages at Jekyll Island HOA

260-667-0958

On Mon, Dec 8, 2025 at 4:21 PM Byrnes, Elizabeth <elizabeth.byrnes@dnr.ga.gov> wrote:

Good Afternoon Mr. Rysenga,

It was nice speaking with you just now. As discussed SPA Permit #442 expired in May of 2021. A Letter of Permission was issued in March of 2020 which is the last record we have for the 3 crosswalks on the property. I have attached it for reference to this email. If you are proposing to work within the same footprint of this LOP, we should be able to permit the

work with another Letter of Permission.

Please take a look at the attached and let me know if you have any questions.

Thank you,

Beth Byrnes
Coastal Permit Coordinator
[Coastal Resources Division](#)

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CRD Main Line: 912-264-7218

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From: Jeff Rysenga <jeff.rysenga@gmail.com>
Sent: Friday, December 5, 2025 7:47 AM
To: Noble, Josh <Josh.Noble@dnr.ga.gov>
Cc: Noel Jensen <njensen@jekyllisland.com>; Yank Moore <y Moore@jekyllisland.com>; Dave Boyer <daveboyer8@gmail.com>; Byrnes, Elizabeth <elizabeth.byrnes@dnr.ga.gov>
Subject: Re: crosswalk maintenance

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Dear Mr Noble,

Just following up on this. Have you had a chance to review the information?

Thanks!

Jeff Rysenga

260-667-0958

On Fri, Nov 21, 2025 at 9:35 AM Noble, Josh <Josh.Noble@dnr.ga.gov> wrote:

Thank you all for the additional information. I will follow up on this Monday.

Thanks,
Josh

> On Nov 21, 2025, at 8:40 AM, Noel Jensen <njensen@jekyllisland.com> wrote:
>

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>
> Josh:

>
> This request from the Cottages would consolidate two areas that cross the dunes into one singular permitted crossover by allowing the public to access it, as well as Cottages owners and guests. In previous years, residents on and near Tallu Fish have been crossing the dunes in an area the JIA would like to exclude from disturbance. This is the main reason why the JIA is willing to share in a portion of the expense and partner with the Cottages HOA.

>
>
> Regards,

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> Noel

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> [cid:085ffa9-b658-4042-b8d1-11a8f98147d3]
> <[https://urldefense.com/v3/https://www.jekyllisland.com/?utm_source=email&utm_medium=jia&utm_campaign=signature_!!HWVSVPY!gyeSKZ_9Dukfl_2wz4Y9_OWDFp8fMgeUPtJQWl9FwFO3-5Plalott-rwSSu7Pcuet4KRfmpkjk9wen9J_2EZ_woA\\$](https://urldefense.com/v3/https://www.jekyllisland.com/?utm_source=email&utm_medium=jia&utm_campaign=signature_!!HWVSVPY!gyeSKZ_9Dukfl_2wz4Y9_OWDFp8fMgeUPtJQWl9FwFO3-5Plalott-rwSSu7Pcuet4KRfmpkjk9wen9J_2EZ_woA$)>

>
> Noel Jensen, MPA, Deputy Executive Director
>
> Jekyll Island Authority
> Office: 912.635.4091 | Cell: 912.617.0267
> Email: njensen@jekyllisland.com<mailto:njensen@jekyllisland.com>

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> From: Jeff Rysenga <jeff.rysenga@gmail.com>
> Sent: Friday, November 21, 2025 7:59 AM
> To: Noble, Josh <Josh.Noble@dnr.ga.gov>
> Cc: Yank Moore <y_moore@jekyllisland.com>; Dave Boyer
> <daveboyer8@gmail.com>; Noel Jensen <njensen@jekyllisland.com>; Byrnes,
> Elizabeth <elizabeth.byrnes@dnr.ga.gov>
> Subject: Re: crosswalk maintenance

>
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safe.

>
> Dear Mr. Noble,

>
> At the time of the permitting, I believe the Cottages already had three dune
walkovers and three corresponding rock revetment crossovers. The permit references
these on page four, but does not include any details nor does it show the locations on
the subsequent pages except for the center dune walkover.

>
> Here are the details for the Cottages three crossovers:

- >
> 1. Center located near 200 Turtle Track, parcel 06-01062 was repaired 3/28/2024
> 2. North near 256 Turtle Track, parcel 06-01151 Part of the rock revetment
crossover is existing, but the stairs down to the beach need to be replaced.
> 3. South near 114 Turtle Track parcel 06-01047 The Cottages intend to rebuild
the rock revetment crossover in the same location as the one destroyed by a hurricane
in 2023. This crossover is also used by residents of Tallu Fish Lane and that is why
the JIA is interested in sharing the expense of the rebuild.

>
> Please refer to the attachment for exact locations. I have corrected an error on the
one sent previously and tried to make the notes clearer.

>
> Please let me know if you have any additional questions.

>
> Jeff Rysenga
> Cottages at Jekyll Island HOA

>
> On Thu, Nov 20, 2025 at 9:01 AM Noble, Josh

<Josh.Noble@dnr.ga.gov<mailto:Josh.Noble@dnr.ga.gov>> wrote:

>

> Hello Mr. Rysenga,

>

>

>

> Please provide parcel #s or addresses for the two crosswalks on the Cottages at Jekyll Island property so I may compare those to the permit, attached here.

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>

> I am unable to locate documentation for the Tallu Fish Lane crosswalk and do not believe it was included in this permit. Note, the approved crosswalk locations are described on page 4 and depicted on project drawing at page 18.

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>

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> Thanks,

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> Josh

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> Josh Noble

> Marsh and Shore Management Program Manager

> Coastal Resources

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> Main: (912)264-7218

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> Direct: (912)266-0712

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Twitter<[https://urldefense.com/v3/_https://www.twitter.com/CoastalGaDNR_:!!HWVSVPY!gyeSKZ_9Dukfl_2wz4Y9_OWDFp8fMgeUPtJQWI9FwFO3-5Plalott-rwSSu7Pcu4KRfmpjk9wen9J_33jcemw\\$](https://urldefense.com/v3/_https://www.twitter.com/CoastalGaDNR_:!!HWVSVPY!gyeSKZ_9Dukfl_2wz4Y9_OWDFp8fMgeUPtJQWI9FwFO3-5Plalott-rwSSu7Pcu4KRfmpjk9wen9J_33jcemw$)>

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> From: Jeff Rysenga <jeff.rysenga@gmail.com<mailto:jeff.rysenga@gmail.com>>
> Sent: Thursday, November 20, 2025 7:49 AM
> To: Noble, Josh <Josh.Noble@dnr.ga.gov<mailto:Josh.Noble@dnr.ga.gov>>
> Cc: Yank Moore
> <y.moore@jekyllisland.com<mailto:y.moore@jekyllisland.com>>; Dave Boyer
> <daveboyer8@gmail.com<mailto:daveboyer8@gmail.com>>; Noel Jensen
> <njensen@jekyllisland.com<mailto:njensen@jekyllisland.com>>
> Subject: Re: crosswalk maintenance

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safe.

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> Dear Mr. Noble,

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> The Cottages at Jekyll Island is interested in proceeding with repairs on their two
other rock revetment crossovers. These are located at the north and south end of the
property and will follow the same design as the center crossover with one set of 9"
round pilings driven to at least 14 feet of penetration seaward of the rock revetment
to anchor the end of the stairs. Repairs to the north crossover will include building a
new set of stairs that will be installed between the existing crossover structure and
two new 9" round pilings. A new south crossover will also be constructed in its
previous location near Tallu Fish Lane in partnership with Jekyll Island Authority.
Please refer to the attached marked-up drawing for the exact locations.

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>
> Please confirm that this work can occur under the extended Shore Protection Act
permit issued for the crossovers in 2018.

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>
> Thank you in advance,

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>
>
> Jeff Rysenga

>
> The Cottages at Jekyll Island HOA

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>

> On Fri, Apr 12, 2024 at 9:37 AM Jeff Rysenga
<jeff.rysenga@gmail.com<mailto:jeff.rysenga@gmail.com>> wrote:

>

> Dear Mr. Noble,

>

>

>

> Repairs to one of the three the rock revetment crossovers located at the Cottages at Jekyll Island were completed on March 28, 2024. Specifically, a new set of stairs was constructed and installed between the existing crossover structure and two new 9" round pilings that were driven with >14 feet of penetration seaward of the rock revetment. Note that no concrete was used in the repairs. The locations of the pilings are shown on the marked-up permit drawings attached as requested. Pictures showing the pilings and the completed stairs also appear below.

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> Thank you for your assistance and please let me know if you have any questions or concerns.

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> Jeff Rysenga

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> 260-667-0958

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> [IMG_5039.HEIC]

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> On Tue, Jan 23, 2024 at 9:02 AM Jeff Rysenga
<jeff.rysenga@gmail.com<mailto:jeff.rysenga@gmail.com>> wrote:

>

> Dear Mr. Noble,

>

>

>

> Thank you for sending a copy of the permit. We will mark up the drawings for your files as requested once we have driven the pilings to their final locations.

>

>

>

> Sincerely,

>

>
> Facebook<[https://urldefense.com/v3/https://www.facebook.com/CoastalGaDNR_!!HWVSVPY!mwUWavvUE4aaEirCvj4gICdkXuGXlqsWdzXv_jUpjAKmSy2tqb3qC_EM9GJ9f6DxwxL9mccMTbYzWtfz-Y4GtXQYig\\$](https://urldefense.com/v3/https://www.facebook.com/CoastalGaDNR_!!HWVSVPY!mwUWavvUE4aaEirCvj4gICdkXuGXlqsWdzXv_jUpjAKmSy2tqb3qC_EM9GJ9f6DxwxL9mccMTbYzWtfz-Y4GtXQYig$)> •

> Twitter<[https://urldefense.com/v3/https://www.twitter.com/CoastalGaDNR_!!HWVSVPY!mwUWavvUE4aaEirCvj4gICdkXuGXlqsWdzXv_jUpjAKmSy2tqb3qC_EM9GJ9f6DxwxL9mccMTbYzWtfz-Y62FvsMHQ\\$](https://urldefense.com/v3/https://www.twitter.com/CoastalGaDNR_!!HWVSVPY!mwUWavvUE4aaEirCvj4gICdkXuGXlqsWdzXv_jUpjAKmSy2tqb3qC_EM9GJ9f6DxwxL9mccMTbYzWtfz-Y62FvsMHQ$)>

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> <[https://urldefense.com/v3/https://coastalgadnr.org/licenses-permits-passes_!!HWVSVPY!mwUWavvUE4aaEirCvj4gICdkXuGXlqsWdzXv_jUpjAKmSy2tqb3qC_EM9GJ9f6DxwxL9mccMTbYzWtfz-Y5isWsTeg\\$](https://urldefense.com/v3/https://coastalgadnr.org/licenses-permits-passes_!!HWVSVPY!mwUWavvUE4aaEirCvj4gICdkXuGXlqsWdzXv_jUpjAKmSy2tqb3qC_EM9GJ9f6DxwxL9mccMTbYzWtfz-Y5isWsTeg$)>

> _____
> A division of the
> GEORGIA DEPARTMENT OF NATURAL RESOURCES

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> Thanks!
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> Jeff Rysenga
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> 260-667-0958

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> Thanks!
> Jeff Rysenga
> 260-667-0958

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> Privileged/Confidential Information may be contained in this message. If you are not the addressee indicated in this message (or responsible for delivery of the message to such person), you may not copy or deliver this message to anyone. In such case, you should destroy this message and kindly notify the sender by reply email. Opinions, conclusions and other information in this message that do not relate to the official business of the Jekyll Island Authority shall be understood as neither given nor endorsed by it.

--

Thanks!

Jeff Rysenga

260-667-0958

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Thanks!

Jeff Rysenga

260-667-0958

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Thanks!

Jeff Rysenga

260-667-0958



February 24, 2026

Georgia DNR Coastal Regional Headquarter
Coastal Resources Division
1 Conservation Way
Brunswick, GA 31520
Attn: Josh Noble

Re: Permission for The Cottages to seek permitting repair/rebuild portions of their damaged crossovers

Please accept this as landowner permission for The Cottages to seek permitting to repair/rebuild portions of Crossover #1 and Crossover #3 as identified in the permitting documents of reference to the March 2020 GDNR LOP and drawings. This approval is good for 6 months.

Please let us know if any additional information is needed and if not, please proceed with repairs.

Thank you-

A handwritten signature in blue ink that reads "Mark Williams".

Mark Williams
Executive Director

CC: Yank Moore, Director of Conservation

FARRELL BROS

MARINE CONSTRUCTION, INC.

Docks • Decks • Boat Lifts • Bulkheads

PO Box 50397, Jacksonville Beach, FL 32240

904-626-4506 www.farrellmarine.com

Proposal

Date	Estimate #
1/26/2026	2026-025

Name / Address
Cottages on Jekyll Island Jeff Rysenga, HOA Member 200 Turtle Track Lane Jekyll Island, GA 31527
(260) 667-0958 jeff.rysenga@gmail.com

Job Site Address/Contact
Cottages on Jekyll Island HOA Jay Kaufman, Property Manager 200 Turtle Track Lane Jekyll Island, GA 31527

If you have any Questions or Concerns, please contact
Scott Farrell at:
(904) 626-4506 or sfarrell@farrellmarine.com

P.O. No.	Project
REV 2 Beach Access Stairs	2026 - REV 2 North Stairs & ...

Description	Qty	Rate	Total
<p>BEACH ACCESS BUDGET PROPOSAL - REV 2 - 01/26/26 - Phase II - Northern Stairs & Southern Complete Walkway</p> <p>Farrell Brothers Marine Construction will</p> <p>Two Part Approach - Evaluate Pile locations for Northern Walkover and Pick up stored Thru-Flow Decking materials (assuming there is enough for stair construction, as before). Followed by constructing the Northern set of stairs off-site & bringing them fabricated in pieces to jet the Northern walkover piles & install the pieces of pre-fabricated stairs. As a final deliverable, we will have located pile position for Northern walkover, driven Northern piles, fabricated & installed Northern walkover stairs that extend two steps below nominal sand level. Price assumes the following:</p> <ul style="list-style-type: none"> - FBMC will pick up Thru-Flow Decking materials at Jobsite Location & FBMC trailer will be able to get adjacent to materials for loading - Northern set of stairs can be constructed from new Thru-Flow Decking in storage. Additional needed Decking material will be charged accordingly - All salvaged material will be collected & ready for pickup somewhere that is truck & trailer accessible for loading - Fire Hydrants &/or Pool can be used for pile location determination, if required <p>* In the event that the current Timber Pile design is not feasible due to buried rip-rap, we will work together with COJI HOA with the determined info to design & price an alternate plan</p> <p>Construct Entire new Southern Walkover including approach stairs (12'x5'), walkway over rocks (20'x5') & stairs down to beach. Structure will roughly match Center Access design. Price includes two Jetted Piles on beach to attach lower end of stairs to.</p> <p>All pilings behind rocks will be hydraulically driven with a 1,000 lbs. hydraulic pile driving hammer and/or 1,000 lbs. vibratory hammer. All piles on beach will be hand jetted. All bolts, nails, washers and nuts are hot dipped galvanized or stainless steel.</p> <p>* Proposal assumes all materials in storage & materials on site are usable for reconstruction of Northern Stairs & will be delivered on site for construction.</p>	1	33,294.00	33,294.00
<p>Construct Entire new Southern Walkover including approach stairs (12'x5'), walkway over rocks (20'x5') & stairs down to beach. Structure will roughly match Center Access design. Price includes two Jetted Piles on beach to attach lower end of stairs to.</p> <p>All pilings behind rocks will be hydraulically driven with a 1,000 lbs. hydraulic pile driving hammer and/or 1,000 lbs. vibratory hammer. All piles on beach will be hand jetted. All bolts, nails, washers and nuts are hot dipped galvanized or stainless steel.</p> <p>* Proposal assumes all materials in storage & materials on site are usable for reconstruction of Northern Stairs & will be delivered on site for construction.</p>	1	55,686.00	55,686.00
<p>If you have any questions concerning this quote, please contact Scott Farrell, 904-626-4506</p>		Total	

Customer's Signature: _____

FARRELL BROS MARINE CONSTRUCTION, INC.

Docks • Decks • Boat Lifts • Bulkheads

PO Box 50397, Jacksonville Beach, FL 32240

904.626-4506 www.farrellmarine.com

Proposal

Date	Estimate #
1/26/2026	2026-025

Name / Address
Cottages on Jekyll Island Jeff Rysenga, HOA Member 200 Turtle Track Lane Jekyll Island, GA 31527
(260) 667-0958 jeff.rysenga@gmail.com

Job Site Address/Contact
Cottages on Jekyll Island HOA Jay Kaufman, Property Manager 200 Turtle Track Lane Jekyll Island, GA 31527

If you have any Questions or Concerns, please contact
Scott Farrell at:
(904) 626-4506 or sfarrell@farrellmarine.com

P.O. No.	Project
REV 2 Beach Access Stairs	2026 - REV 2 North Stairs & ...

Description	Qty	Rate	Total
<p>Replacement Sod, Irrigation, Electrical, and Water are not included in price, however they can be arranged. All permits are required to be on file at Farrell Brothers Marine. All insurance certificates are available upon request. Farrell Brothers Marine Construction is not responsible for any grass, shrubs, utilities, sprinkler systems, septic systems, trees, walkways / paths, pools in work area or its path. Extreme care will be taken to avoid any damages. Please advise us of any concerns you may have above or underground, as necessary. Unforeseen items will billed in form of a change order at a time and material basis.</p> <p>TERMS: 100% Due Upon Completion</p> <p>THIS PROPOSAL MAY BE WITHDRAWN IF NOT ACCEPTED WITHIN 30 DAYS * Material prices are extremely volatile currently. We have done our best to anticipate a fair value for all of the material involved. Price is subject to change if there is a significant move in the material market.</p>			
<p>If you have any questions concerning this quote, please contact Scott Farrell, 904-626-4506</p>		Total	\$88,980.00

Contractor's Signature _____

Customer's Signature: _____

[Handwritten Signature]
2/13/2026



MARK WILLIAMS
COMMISSIONER

DOUG HAYMANS
DIRECTOR

MAR 12 2020

Jeff Kaufman
The Cottages at Jekyll Island
975 Beachview Dr N
Jekyll Island, GA 31527

Re: Letter of Acknowledgement (LOA), Construction of Two (2) Crosswalks and Modification of One (1) Crosswalk within Shore Protection Act (SPA) Jurisdiction, Shore Protection Act Permit #442, The Cottages at Jekyll Island, Jekyll Island, Glynn County, Georgia. GPS: (31.08943°N/81.40345°W)

Dear Mr. Kaufman:

This Letter of Acknowledgement (LOA) is in response to your request, received February 12, 2020, for construction of two and modification of one crosswalk authorized under Shore Protection Act (SPA) Permit #442.

SPA Permit #442 was issued on April 15, 2016 for the construction of two crosswalks and modification of one crosswalk within SPA Jurisdiction. Crosswalk one (1) was approved at 5 ft. by 160 ft. 4 in., crosswalk two (2) was a modification to an existing partially built crosswalk with the new portion approved at 5 ft. by 67 ft., and crosswalk three (3) was approved to be constructed at 5 ft. by 145 ft. 7 in. long. Although the SPA permit #442 was approved in 2016, construction and maintenance has been delayed due to rehabilitation of the rock revetment and construction of sand dunes and terrace berm authorized under SPA Permit #465, Jekyll Island Shoreline Rehabilitation. Improvements under SPA #465 have progressed and the landowner (the Jekyll Island Authority; JIA) has given permission to begin work as permitted under SPA permit #442, with modifications as defined below.

According to this request, this project will reduce the amount of structure within SPA jurisdiction. Crosswalk 1 will include two sections totaling 103 ft. 11 in. length by 5 ft. wide. The landward section measures approximately 39 ft. 6 in. and includes ascending and descending steps measuring 5 ft by 5 ft. respectively. Crosswalk 1 will start again, approximately 44 ft. 4 in. due east, as a 64 ft. 5 in. section that traverses the rock revetment, which includes a 10 ft. by 5 ft. ascending staircase and 13 ft. by 5 ft. staircase that descends to the beach. Crosswalk 2 will cross the revetment and measures approximately 66 ft. 6 in. in length by 5 ft. wide. On the west side, the crosswalk will attach to the existing crosswalk structure, which consists of a walkway extending from the area landward of SPA jurisdiction to an approximately a 280 sq. ft. and a 480 sq. ft. fixed deck(s) with stairs leading to the beach on the landward side of the existing rock revetment. On the east side, the crosswalk will traverse the rock revetment and includes 15 ft. by 5 ft. staircase descending to the beach. Crosswalk 3 includes two sections totaling 122 ft. 4 in. in length by 5 ft. wide. The landward section measures approximately 74 ft. 5 in. and includes descending steps

measuring 7 ft. by 5 ft. Approximately 23 ft. due east of section one, will include the seaward section which measures 47 ft. 11 in. and includes a 7 ft. by 5 ft. wide ascending staircase and a 15 ft. by 5 ft. descending staircase to the beach. The overall footprint of the crosswalks within SPA jurisdiction will be reduced by approximately 336.7 sq. ft. from what was originally permitted in SPA #442.

The Department authorizes constructing two and modifying one crosswalk within the SPA jurisdictional area as described above and depicted in the attached description and drawings. **No unauthorized equipment, materials or debris may be placed, disposed of, or stored in jurisdictional areas.** Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states. This project must also comply with the Jekyll Island Authority Beach Lighting Ordinance.

Because the project may occur between May 1st and October 31st, turtle nesting season, an individual with a DNR Sea Turtle Cooperators Permit is required to survey the area to be used by the equipment prior to the work beginning. All sea turtle nests must be avoided, and no activity may occur within 20 ft. of a nest area.

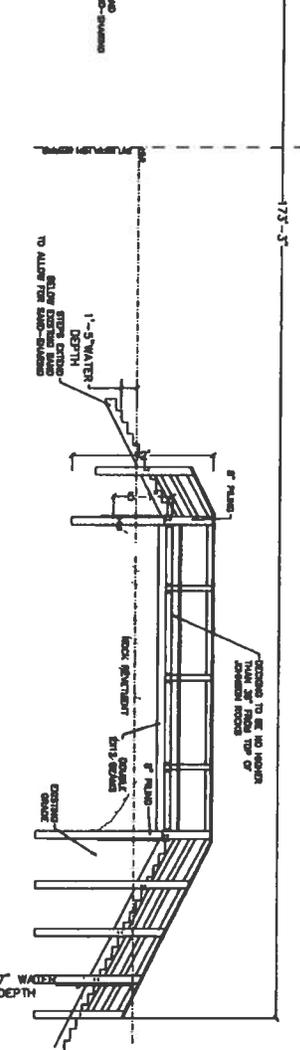
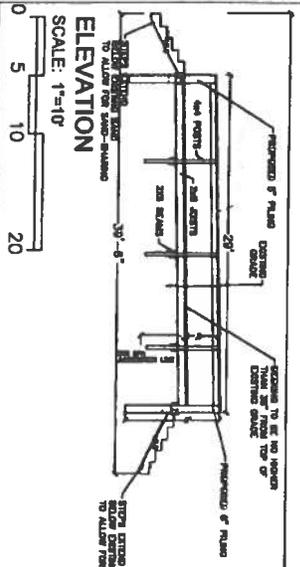
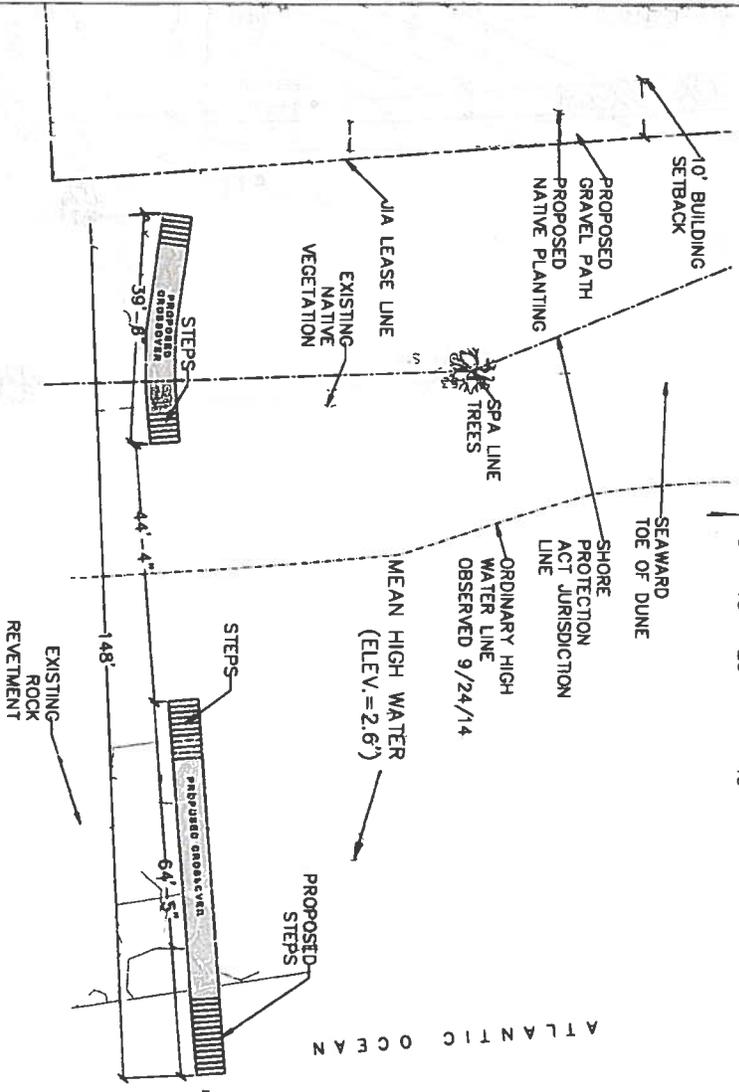
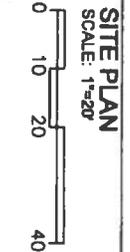
Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office could result in revocation of this permission and in the required removal of the related structures. This LOP does not relieve you from obtaining any other federal, state, or local permits. If you have any questions, you may contact Amy Flowers at (912) 262-3109.

Sincerely,



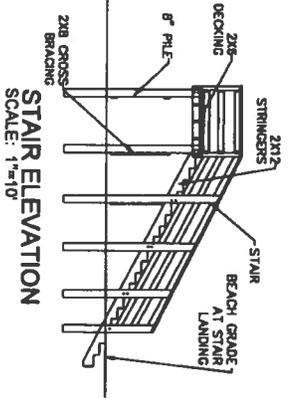
Josh Noble
Marsh and Shore Management Program Manager

Enclosures: Project Drawings, SPA#442
File: LOP20190152
CC: Ben Carswell, Jekyll Island Authority, via email



SITE CALCULATIONS CROSSOVER #1

- REVISION:
 12-16-2019: REVISED CROSSOVER #2
 12-17-2019: REVISED STAIRS FOR CROSSOVER #2
 03-08-2020: REVISED CROSSOVER #1 AND #2
 02-11-2020: REVISED PER DNR COMMENTS
 02-23-2020: REVISED PER DNR COMMENTS
- TOTAL AREA OF THE COTTAGES AT JEKYLL ISLAND PROPERTY = 827,788 S.F.
 - TOTAL AREA OF PROPOSED PROJECT FOOTPRINT (CROSSOVER #1) = 519.8 S.F.
 - TOTAL AREA OF PROJECT IN USAGE JURISDICTIONAL AREA = 158 S.F.
 - NAVIGABLE CHANNEL DIMENSIONS SHOWN.
 - SECTION ELEVATION SHOWS CROSS-SECTION VIEW USING SAME WATER ELEVATIONS AS SITE PLAN. WATER DEPTH SHOWN AT WATER-WARD FACE OF PROJECT. PILING DIMENSIONS SHOWN.



USACE PERMIT MODIFICATIONS FOR A CROSSOVER

THE COTTAGES AT JEKYLL ISLAND

PREPARED FOR:
 CAROLINA HOLDINGS GROUP, LLC



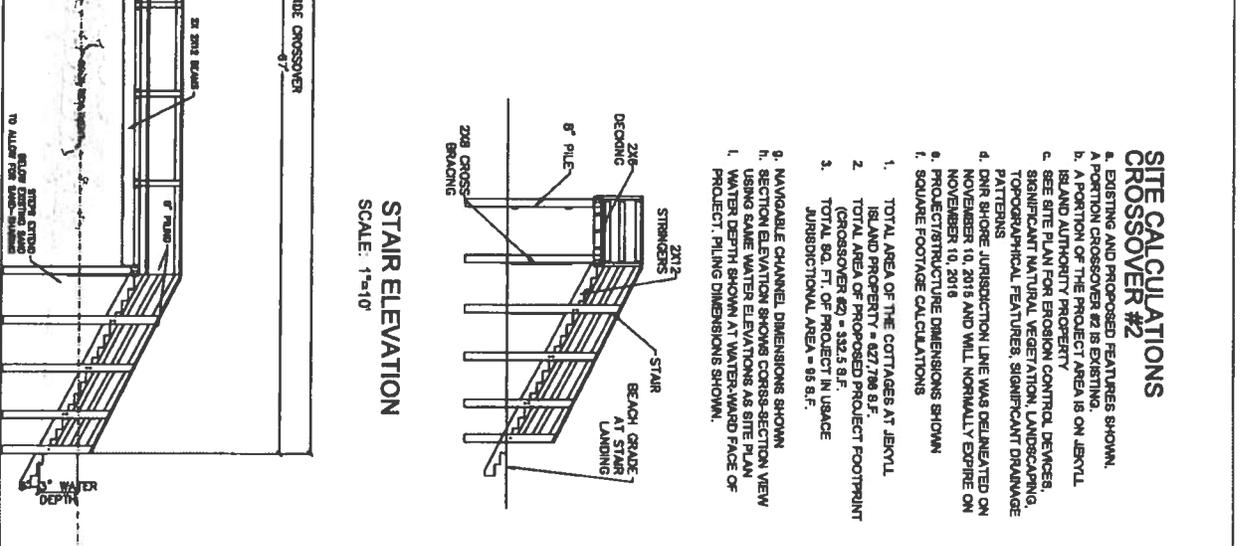
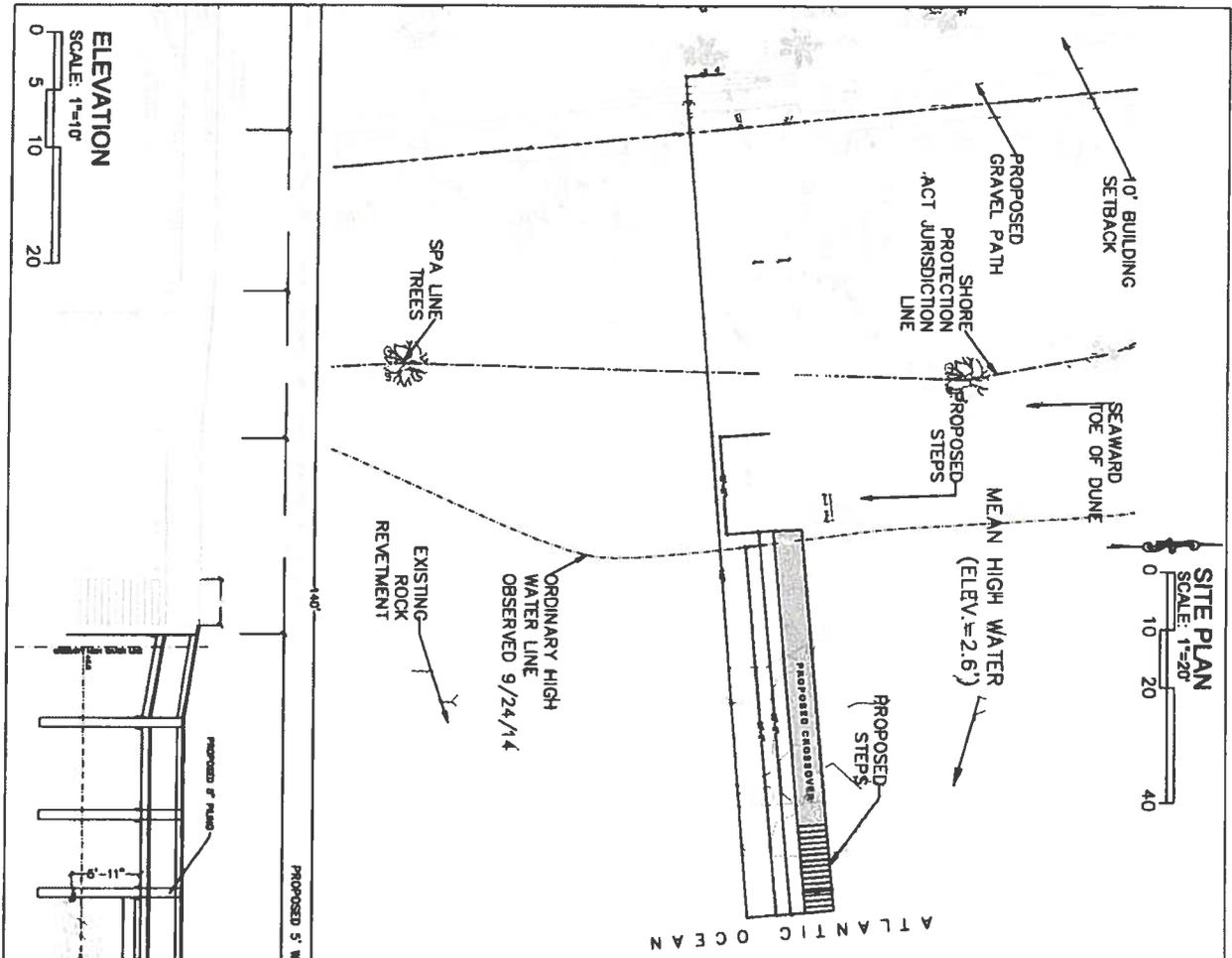
ROBERTS CIVIL ENGINEERING



DATE: 10-15-19
 DRAWN BY: BE
 CHECKED BY: WF
 SCALE: AS SHOWN (11x17)

ROBERTS CIVIL ENGINEERING, LLC
 301 SEA ISLAND ROAD
 ST. SIMONS, GA 31522
 912-638-9828 OFFICE
 912-285-0539 FAX

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 SHEET:

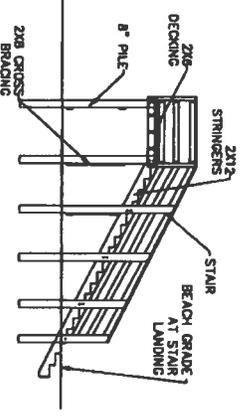
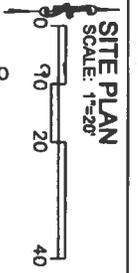
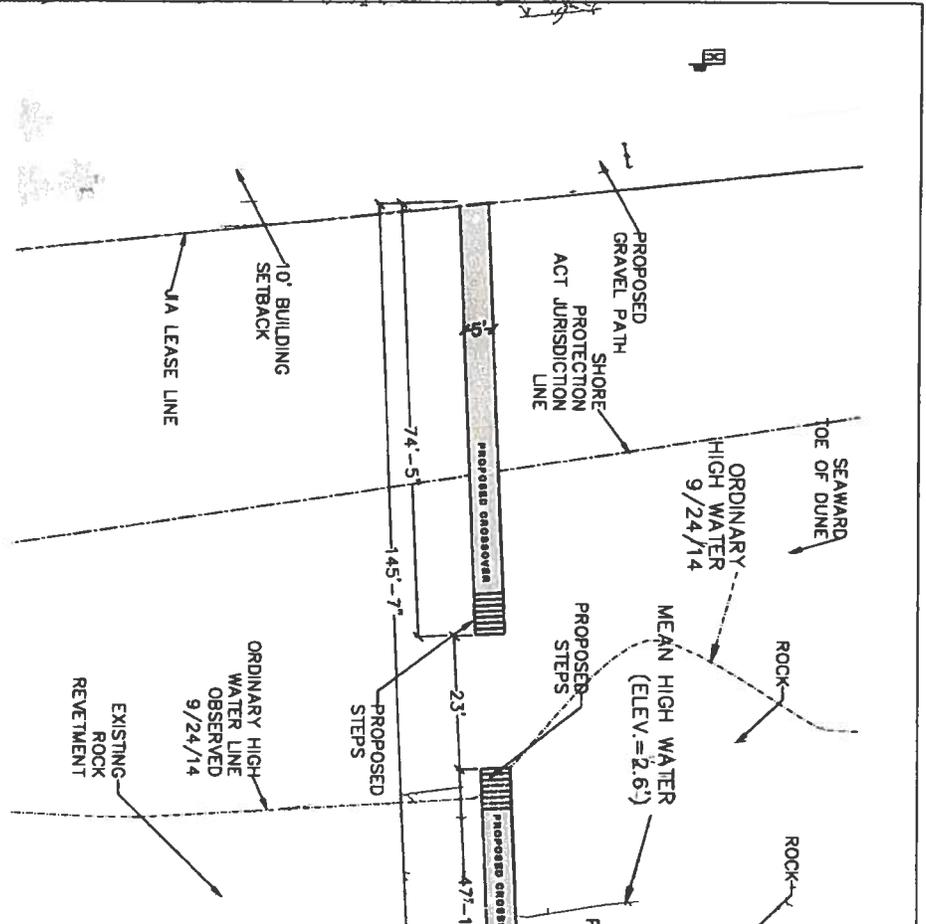
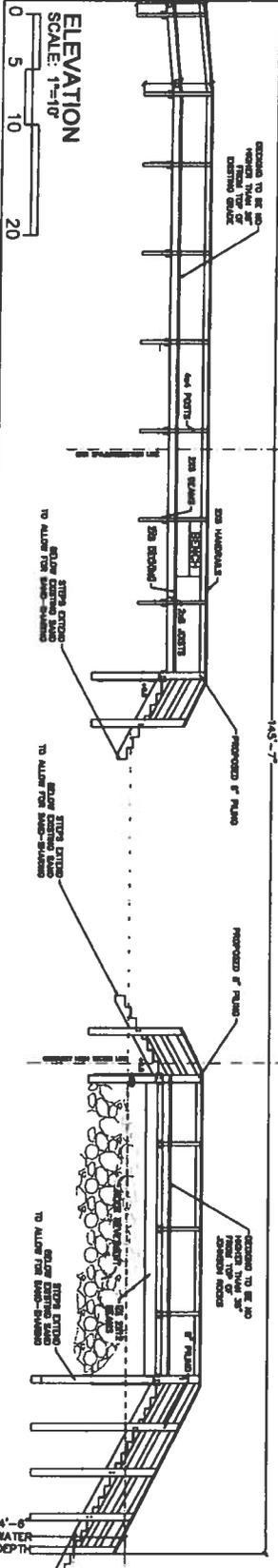


SITE CALCULATIONS CROSSOVER #2

- EXISTING AND PROPOSED FEATURES SHOWN.
- PROPOSED CROSSOVER #2 IS EXISTING.
- A PORTION OF THE PROJECT IS ON JERILL ISLAND AND/OR BY THE PROJECT.
- SEE SITE PLAN FOR EROSION CONTROL DRAINAGE, SIGNIFICANT NATURAL VEGETATION, LANDSCAPING, TOPOGRAPHICAL FEATURES, SIGNIFICANT DRAINAGE PATTERNS.
- DNR SHORE JURISDICTION LINE WAS DELINEATED ON NOVEMBER 10, 2019 AND WILL NORMALLY EXPIRE ON NOVEMBER 10, 2019.
- PROJECT STRUCTURE DIMENSIONS SHOWN
- SQUARE FOOTAGE CALCULATIONS
- TOTAL AREA OF THE COTTAGES AT JERILL ISLAND PROPERTY = 427.798 S.F.
- TOTAL AREA OF PROPOSED PROJECT FOOTPRINT (CROSSOVER #2) = 132.5 S.F.
- TOTAL SQ. FT. OF PROJECT IN USACE JURISDICTIONAL AREA = 85 S.F.
- NAVIGABLE CHANNEL DIMENSIONS SHOWN.
- SECTION ELEVATION SHOWING CROSS-SECTION VIEW USING SAME WATER ELEVATIONS AS SITE PLAN.
- WATER DEPTH SHOWN AT WATER-WARD FACE OF PROJECT. PILING DIMENSIONS SHOWN.

- REVISION:
- 12-16-2019: REVISED CROSSOVER #2
 - 12-17-2019: REVISED STAIRS FOR CROSSOVER #2
 - 01-09-2020: REVISED CROSSOVER #1 AND #2
 - 02-11-2020: REVISED PER DNR COMMENTS
 - 02-14-2020: REVISED PER DNR COMMENTS
 - 02-25-2020: REVISED PER DNR COMMENTS

<p>3</p> <p>SHEET:</p>	<p>DATE: 10-15-19 DRAWN BY: BE CHECKED BY: WF SCALE: AS SHOWN (11x17)</p>	<p>USACE PERMIT MODIFICATIONS FOR A CROSSOVER</p>	 <p>ROBERTS CIVIL ENGINEERING</p>	
	<p>ROBERTS CIVIL ENGINEERING, LLC 301 SEA ISLAND ROAD ST. SIMONS, GA 31522 912-638-9681 OFFICE 912-289-0839 FAX</p>	<p>THE COTTAGES AT JEKYLL ISLAND</p> <p>PREPARED FOR: CAROLINA HOLDINGS GROUP, LLC</p>		



STAIR ELEVATION
SCALE: 1"=10'

REVISION:
12-16-2019: REVISED CROSSOVER #2
12-17-2019: REVISED STAIRS FOR CROSSOVER #2
01-08-2020: REVISED CROSSOVER #1 AND #2
02-11-2020: REVISED PER DNR COMMENTS
02-25-2020: REVISED PER DNR COMMENTS

SITE CALCULATIONS

- CROSSOVER #3**
- EXISTING AND PROPOSED FEATURES SHOWN
 - A PORTION OF THE PROJECT AREAS ON JERTLL ISLAND AUTHORITY PROPERTY
 - SEE SITE PLAN FOR EROSION CONTROL, DRAINAGE, SIGNIFICANT NATURAL VEGETATION, LANDSCAPING, TOPOGRAPHICAL FEATURES, SIGNIFICANT DRAINAGE PATTERNS
 - DNR SHORE JURISDICTION LINE WAS DELINEATED ON NOVEMBER 10, 2015, AND WILL NORMALLY EGRE ON NOVEMBER 10, 2018
 - PROJECT STRUCTURE DIMENSIONS SHOWN
 - SQUARE FOOTAGE CALCULATIONS
 - TOTAL AREA OF THE COTTAGES AT JERTLL ISLAND PROPERTY = 627,786 S.F.
 - TOTAL AREA OF PROPOSED PROJECT FOOTPRINT (CROSSOVER #3) = 416 S.F.
 - TOTAL SQ. FT. OF PROJECT IN USAGE JURISDICTIONAL AREA = 119 S.F.
 - NAVIGABLE CHANNEL DIMENSIONS SHOWN
 - SECTION ELEVATION SHOWS CORRS-SECTION VIEW USING SAME WATER ELEVATIONS AS SITE PLAN
 - WATER DEPTH SHOWN AT WATER-WARD FACE OF PROJECT. PILING DIMENSIONS SHOWN

DATE: 10-15-19
DRAWN BY: BE
CHECKED BY: WF
SCALE: AS SHOWN (11x17)

4
SHEET:

ROBERTS CIVIL ENGINEERING, LLC
301 SEA ISLAND ROAD
1ST. FLOOR, GA 31522
912-438-2681 OFFICE
912-286-0339 FAX

**USACE PERMIT MODIFICATIONS
FOR A CROSSOVER**

**THE COTTAGES AT
JEKYLL ISLAND**

PREPARED FOR:
CAROLINA HOLDINGS GROUP, LLC





MARK WILLIAMS
COMMISSIONER

A.G. SPUD WOODWARD
DIRECTOR

MAY 03 2016

Jeff Homans
Land Design Associates, Inc.
228 Redfern Village #203
St. Simons Island, GA 31522

RE: Shore Protection Act Permit # 442, The Cottages at Jekyll Island, LLC, Modification of an Existing Crosswalk and Construction of Two New Crosswalk Structures, 975 N. Beachview Drive, Jekyll Island, Glynn County, Georgia

Dear Mr. Homans:

The Shore Protection Committee considered and approved permit #442 referenced above under the Shore Protection Act O.C.G.A. §12-5-230 et. seq. The permit placard and permit conditions are attached to this letter. All decision documents, as well as all other plans, documents and materials submitted during the application process become terms of this permit and are now enforceable conditions.

This letter and attachments are to be held by you for your files and for inspection by any authorized persons. The expiration date for the permit is five (5) years from the date of issuance. However, no construction may commence within the area of jurisdiction of the Act until the expiration of thirty (30) days following the date of issuance, provided there is no legal appeal of this permit, you have all other necessary federal, state and local authorizations and you have met all of the standard and special conditions as required by this permit.

Permitted Project Description:

The modification of an existing crosswalk and the construction of two (2) new crosswalks. The existing crosswalk structure over the existing rock revetment will be modified by extending a 5ft. x 67ft. elevated crosswalk from the existing fixed deck seaward of the existing rock revetment to the beach. The two (2) new wooden crosswalks will be approximately 5ft. x 106ft. 4in. and 5ft. x 145ft. 7in. All three (3) of the crosswalks will have two (2) sets of stairs leading to the beach. One set on the landward side and one set on the seaward side of the existing rock revetment.

Standard and Special conditions apply to this permit.

Permit Placard:

Enclosed is the permit placard to be posted at the work site (within 24 hours) for the duration of the construction activity.

Post Construction Requirements: Compliance Certification and File Maintenance

Also enclosed is a *Certification of Compliance* that must be submitted to us within 30 days following completion of the permitted activity. Please include this compliance form with the

post-construction survey, if required under the special conditions. Department staff will assess compliance and provide you with a written verification of project completion and compliance.

Conveyance of Ownership Interest:

If you, as the permit holder sell, lease, rent, or otherwise convey the land or any portion of the land for which the permit was issued, you must notify the Department within 30 days of this transfer or conveyance. The permit shall continue in force in favor of the new owner, lessee, tenant, or other assignee so long as there is no change in the use of the land as set forth in the original application. The Department will transfer the permit to the new owner with all of the original terms and conditions.

We ask that you carefully read through this document and attachments and comply with the terms and conditions of this permit. Feel free to contact Sheldon Leiker at (912) 264-3109 if you need clarification of any of these conditions or for assistance with this project.

Sincerely,



Jill Andrews
Chief, Coastal Management Section

Enclosures: SPC Permit #442 and Permit Conditions, Compliance Certificate, Permit Placard,
Drawings

cc: Savannah District Corps of Engineers

File # SPA20160005



MARK WILLIAMS
COMMISSIONER

A.G. SPUD' WOODWARD
DIRECTOR

**Shore Protection Committee Permit #442
Final Conditions
April 15, 2016**

**The Cottages at Jekyll Island, LLC
Modification of an Existing Crosswalk and Construction of Two New
Crosswalk Structures
975 N. Beachview Drive,
Jekyll Island, Glynn County, Georgia**

Project Description: The modification of an existing crosswalk and the construction of two (2) new crosswalks. The existing crosswalk structure over the existing rock revetment will be modified by extending a 5ft. x 67ft. elevated crosswalk from the existing fixed deck seaward of the existing rock revetment to the beach. The two (2) new wooden crosswalks will be approximately 5ft. x 106ft. 4in. and 5ft. x 145ft. 7in. All three (3) of the crosswalks will have two (2) sets of stairs leading to the beach. One set on the landward side and one set on the seaward side of the existing rock revetment. Standard and Special conditions apply to this permit.

**SHORE PROTECTION ACT O.C.G.A. § 12-5-230
STANDARD PERMIT CONDITIONS**

1. The project must comply, as applicable, for areas permitted herein, with all other Federal, State, and local statutes, ordinances, and regulations, and the applicant must obtain all licenses and permits prior to commencement of construction.
2. This permit does not resolve actual or potential disputes regarding ownership of or rights in or over the property upon which the subject project is proposed, and shall not be construed as recognizing or denying any such rights or interests.
3. All plans, documents, and materials contained in this permit application, required by the Shore Protection Act O.C.G.A. 12-5-230 *et. seq.* are a part of this permit and conformance to such plans, documents, and materials are a condition of this permit. No change or deviation from these plans, documents, and materials shall be permitted without prior notification and approval by the Department or Committee.
4. No further encroachment or construction shall take place within State jurisdiction, except as permitted by the Shore Protection Committee. Any modification of the plans or structure in

the jurisdictional area must be reviewed and approved by the Department prior to construction.

5. No construction or alteration of a project may commence until the expiration of 30 days following the date on which the application is approved; provided however that if a timely appeal is filed, no construction or alteration may commence until all administrative proceedings are terminated.
6. The permit must be posted onsite within twenty-four (24) hours of beginning construction.
7. A copy of the above conditions must be supplied to the person in charge of construction. All contractors and subcontractors are responsible for strict adherence to all permit conditions.
8. All Best Management Practices (BMPs) should be used to prevent any erosion and sedimentation at the site. No unauthorized equipment, materials, or debris may be placed in, disposed of, or stored in jurisdictional areas. Any incidental impacts associated with the construction of this project must be rectified by restoring areas to their pre-construction topographic and vegetative states.
9. The public shall maintain rights of ingress and egress on the foreshore beach area seaward of the ordinary high water mark.
10. If the permitted improvements are damaged, fall into disrepair, become dilapidated, are not meeting their expected usefulness, or are not maintained at a serviceable level, then it is the responsibility of the owner to remove the improvements. A new permit will be required to retain and repair the structure, improvement or asset if it loses its structural integrity and is no longer serviceable.
11. The Shore Protection Committee is not bound in the future to protect any asset or improvements authorized by the permit.

SHORE PROTECTION ACT O.C.G.A. 12-5-230
STANDARD PERMIT CONDITIONS FOR DUNE CROSSWALKS

1. The height of the structure shall be at least 36in. above the grade of the sand dune and the width shall be no greater than 6ft. as measured from the outside posts, to allow for sand movement or accretion in the dynamic dune field.
- ~~2. The terminal point of the crosswalk shall be seaward of the seaward most dune but shall not encroach seaward of the ordinary high water line into the active intertidal beach.~~
- ~~3. If the shoreline erodes and the crosswalk extends seaward of the ordinary high water line, it will be the responsibility of the applicant to move the permitted improvements back to the dry sand beach, landward of the ordinary high water line.~~
4. The structure shall begin at the toe of the landward most dune.
5. Heavy equipment is prohibited in the Shore Protection Act Jurisdiction. This project must be constructed using hand tools.
6. Clearing and grading of dunes is not authorized in conjunction with the construction of this project; stockpiling of materials in the dunes is prohibited.
7. Vegetation may be cleared only for the width of the permitted structure. The maintenance trimming of jurisdictional vegetation will only be allowed within 6in. of the sides of the structure and 7ft. high over the structure.

8. No motorized vehicles are permitted on the crosswalk structure, except for motorized wheelchairs for handicapped persons.
9. Any sand needed to restore the site to pre-project vegetated and topographic conditions, or for backfilling, must be beach quality and obtained from an upland source and not from the beach.

SPECIAL CONDITIONS

1. In order to minimize the disruption of nesting activity from artificial lighting from the subject parcel, the Permittee must comply with the Jekyll Island-State Park Authority Beach Lighting Ordinance as well as the Department of Natural Resources' Wildlife Resources Division's sea turtle nesting guidelines.
2. Because the project may occur between May 1st and October 31st, turtle nesting season, an individual with a DNR Sea Turtle Cooperators Permit must survey the area and the access to be used by the equipment prior to the work beginning. All sea turtle nests must be avoided and no heavy equipment may be used within 20ft. of a nest area.
3. The Department shall be notified prior to any maintenance performed on the structures. Should the Department determine the structures need too frequent maintenance and/or create excessive marine debris; the structure seaward of the OHW mark shall be removed.
4. Permittee may be required to provide a post-construction survey that locates the proposed structure as indicated in the application materials. Landscaped trees must be designated as such on the survey. Such survey shall comply with the Georgia Plat Act, O.C.G.A. §15-6-67 et seq.

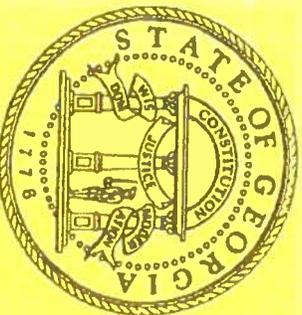
The Georgia Shore Protection Committee

PERMIT

Issued Pursuant to O.C.G.A. 12-5-230

To: The Cottages at Jekyll, LLC

For: The modification of an existing crosswalk and the construction of two (2) new crosswalks.
Standard and special conditions apply to this permit.



Date: April 15, 2016

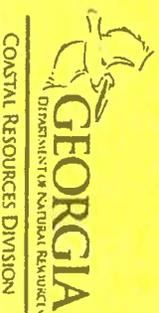
Expiration Date: April 15, 2021

Permit Number: 442

Authorized By:

A handwritten signature in black ink, appearing to be "M. W. ...", written over a horizontal line.

For further information, please contact the DNR Coastal Resources Division at (912) 264-7218





MARK WILLIAMS
COMMISSIONER

A G 'SPUD' WOODWARD
DIRECTOR

CERTIFICATION OF COMPLIANCE
FOR THE CONSTRUCTION AND MAINTENANCE
OF PROJECTS PERMITTED UNDER
THE SHORE PROTECTION ACT

PERMITTEE:

Name: Gary N. Wadsten, The Cottages at Jekyll Island, LLC
City or Town: Jekyll
Island or Waterway: Atlantic Ocean
County: Glynn
Permit Number: 442

Within 30 days of completion of the activity authorized by this permit, sign this certification and return to the Marsh and Shore Management Program of the Coastal Management Section at the address listed below.

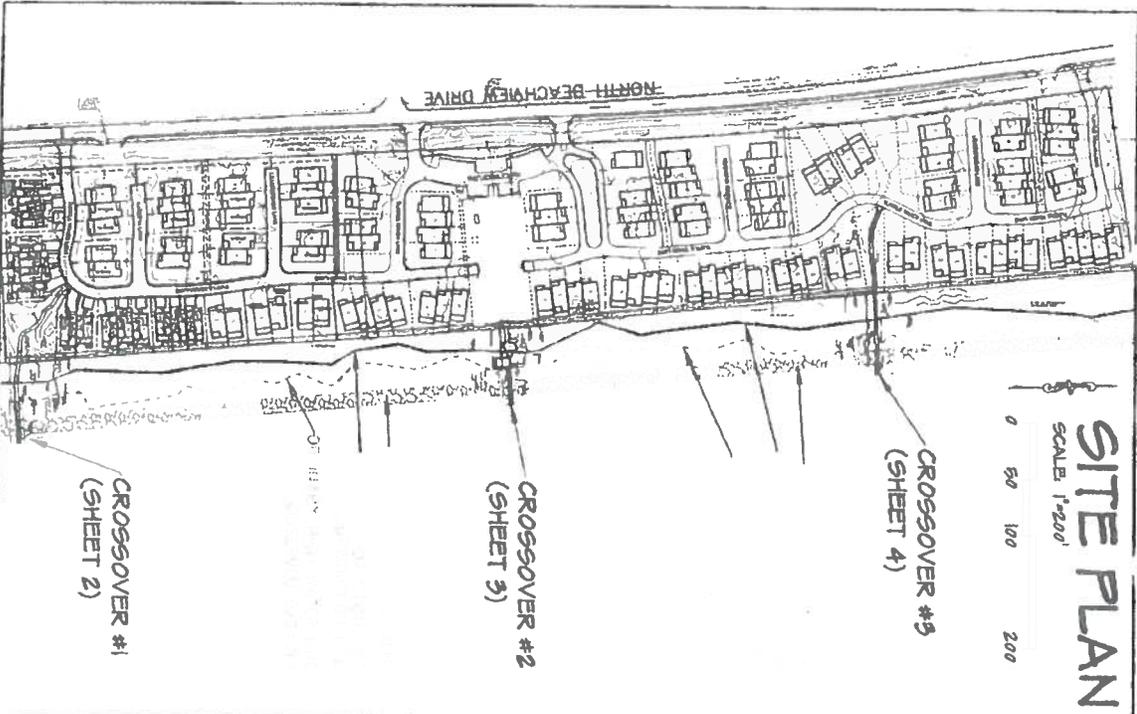
Please note that your permitted activity is subject to compliance inspections by DNR representatives before and after completion of the project. If you fail to comply with the permit terms and conditions it may be subject to suspension, modification, or revocation.

Permittee Statement

"I hereby certify that the work authorized by the above referenced permit has been completed in accordance with the terms and conditions of the said permit."

Signature of Permittee:

Date: _____



SITE PLAN

SCALE: 1"=200'

0 50 100 200

CROSSOVER #3
(SHEET 4)

CROSSOVER #2
(SHEET 3)

CROSSOVER #1
(SHEET 2)

PROJECT NARRATIVE

1. **Basic Project Details** - The Cottages at Jekyll Island, LLC proposes to construct 2 new wood pedestrian beach crossover structures and extend one existing wood pedestrian beach crossover structure seaward of the rock revetment.

2. **Location** - The proposed improvements are located on the eastern side of a beach fronting development currently under construction on a 34.43 AC tract ("2000 feet of beach frontage") in Glynn County at 975 North Beachway Drive, Jekyll Island, GA 31527. Latitude 31.087183° Longitude -81.402195°. Please see attached vicinity map for exact location.

3. **Disturbances** - The 3 proposed crossovers are 5' wide and are approximately 16'-6", 67'-0", and 145'-7" respectively in length.

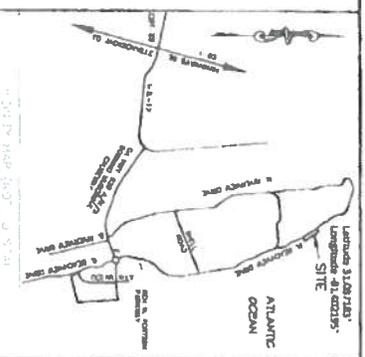
4. **Construction methods, materials, and access** - All construction access shall occur from the applicant's property. The work shall be performed by a Georgia Licensed General Contractor with power hand tools. No equipment or machinery shall enter the jurisdiction area. Construction activity around the existing structure shall minimize disturbance to dune vegetation and tree mass and shall be limited to within 3 feet of the existing structure. Any native dune vegetation impacted by construction activity shall be replanted in the hand. Any excavated sand shall be returned and placed on plastic tarps on hand packed sand above the high water line, outside the path of normal beach foot traffic, and covered with plastic tarps until it is replaced in its original location. Materials shall be marine grade pressure treated or other natural wood and marine grade stainless steel hardware and hardware. Best Management Practices (BMPs) shall be used and no unauthorized equipment, materials, or debris shall be placed, disposed of, or stored in the jurisdiction area.

5. **Permitted Disturbance** - The proposed crossovers are intended to allow residents, visitors, and guests of the Cottages at Jekyll Island and Jekyll Island State Park to safely access the beach without disturbing the existing dune vegetation.

6. **Site** - The existing development area is 3,738 square feet (0.087 AC), the trees or significant vegetation shall be disturbed or removed. No grading or filling is necessary or proposed. No bulkheads are proposed.

7. **Design Standards** - This project meets and/or exceeds all applicable design criteria:

- i. Construction impacts are minimal and temporary (use construction methods shown).
- ii. Areas shall be completely restored if disturbed (use construction methods shown).
- iii. The project maintains the normal functions of the sand-dune system in reducing damage from storms, waves, and erosion for the property and neighboring properties through the porous nature of the wood structures.
- iv. This project exceeds the maintenance to remain at least 1/3 of the parcel in its naturally vegetated and topographic condition. At least 50% (1/2) of this parcel remains in a natural or undisturbed natural and topographic condition. Furthermore, the Jekyll Island University land (between the parcel and SPA jurisdiction area) remains 100% naturally vegetated and topographically undisturbed.

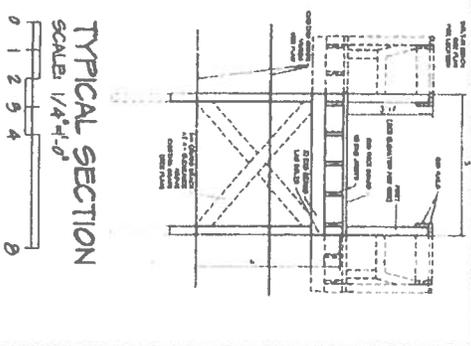


DRAWING OBJECTIVES:

- 1. Proposed north on 119' 17" 9.5' wide, turn right onto GA-928 E
- 2. Proposed north 6.5' wide, turn left at the traffic circle onto North Beachway Drive.
- 3. Proposed north 9.5' wide and the project site as on the right.

GENERAL DRAWING NOTES:

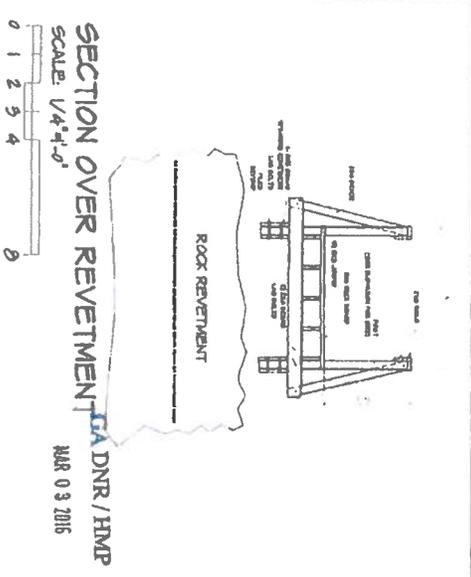
- a. These drawings are submitted as a survey by C. Thomas Hill, GA RL 528 9904, dated 1/4, Boundary and Shore Protection and Construction Line survey of Jekyll Oceanfront Resort, dated 9/29/14, 10/14/2016, 1/17/2017.
- b. Drawn to scale w/ 1" left margin.
- c. Drawn to scale w/ 1/4" scale and north arrow.



TYPICAL SECTION

SCALE: 1"=10'

0 1 2 3 4 5 6



SECTION OVER ROCK REVETMENT

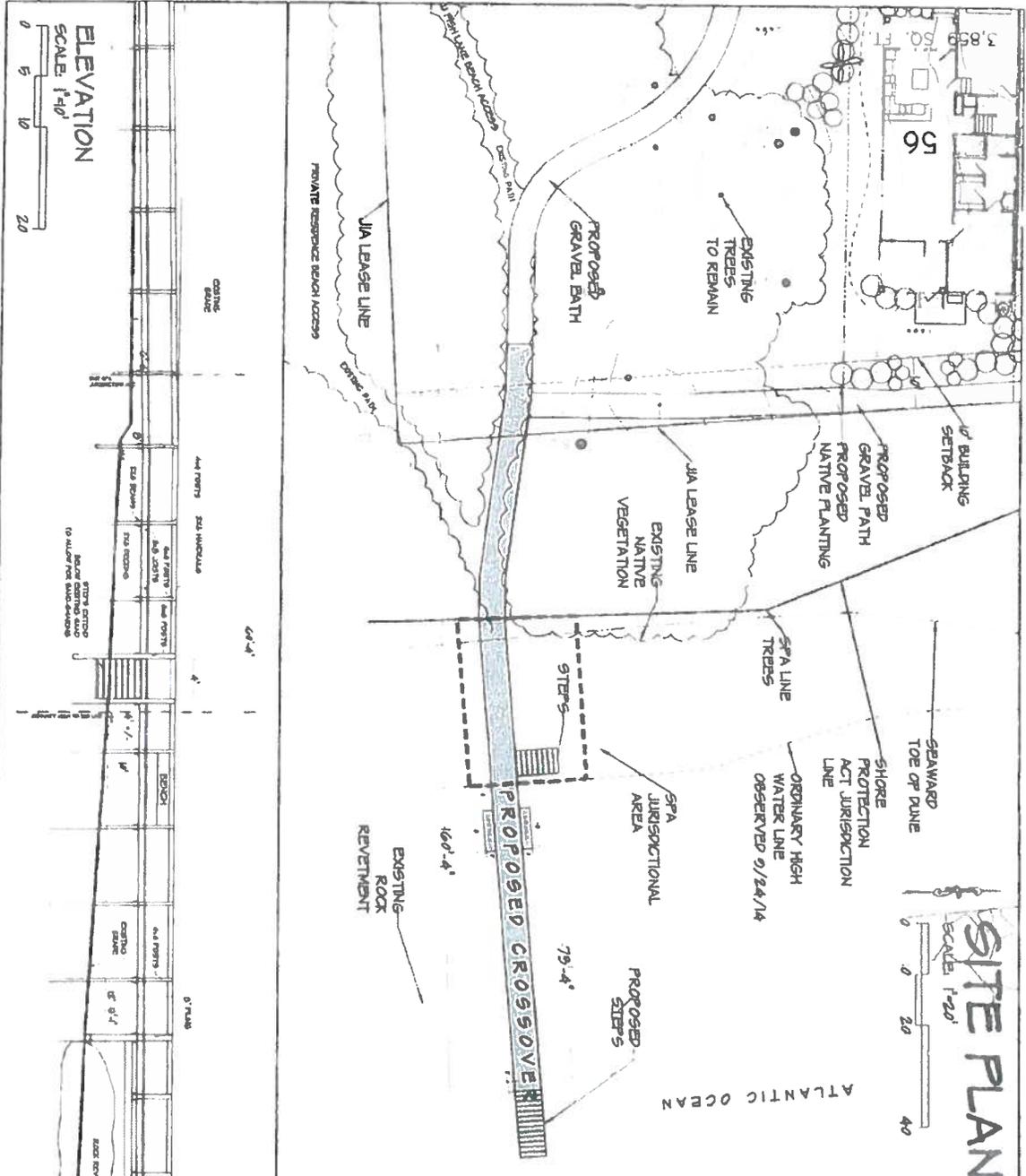
SCALE: 1"=10'

0 1 2 3 4 5 6

DATE: 3/11/16
SCALE: AS SHOWN
SHEET 1 OF 4

GA DNR SPA Permit Application for a Crossover at
THE COTTAGES AT JEKYLL ISLAND
JEKYLL ISLAND, GEORGIA

NO. 1000000000
REVISIONS
DATE
BY

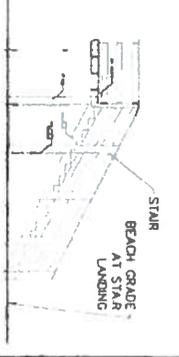


SITE PLAN

SCALE: 1"=20'

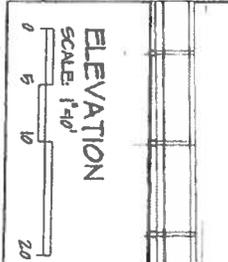
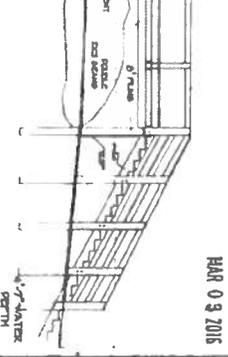
SITE CALCULATIONS CROSSOVER #1

- EXISTING AND PROPOSED FEATURES SHOWN.
- A PORTION OF THE PROJECT AREA IS ON JEFFREY ISLAND AUTHORITY PROPERTY CONTROL. PERMITS SEE SITE PLAN FOR EROSION CONTROL, PERMITS, SIGNIFICANT NATURAL VEGETATION LANDSCAPES, TOPOGRAPHICAL FEATURES, SIGNIFICANT FLOODPLAIN PATTERNS.
- PER SPA JURISDICTION LINE WAS PRELIMINARY ON NOVEMBER 14, 2010 AND WILL USUALLY EXIST ON NOVEMBER 14, 2010.
- PROJECT/STRUCTURE DIMENSIONS SHOWN SQUARE FOOTAGE CALCULATIONS
- TOTAL AREA OF THE COTTAGES AT JEFFREY ISLAND PROPERTY = 687,796
- TOTAL AREA OF PROPOSED PROJECT FOOTPRINT (CROSSOVER #1) = 578 SF
- TOTAL AREA OF JURISDICTIONAL AREA = 742 SF
- TOTAL AREA OF PROJECT IN JURISDICTIONAL AREA = 229 SF

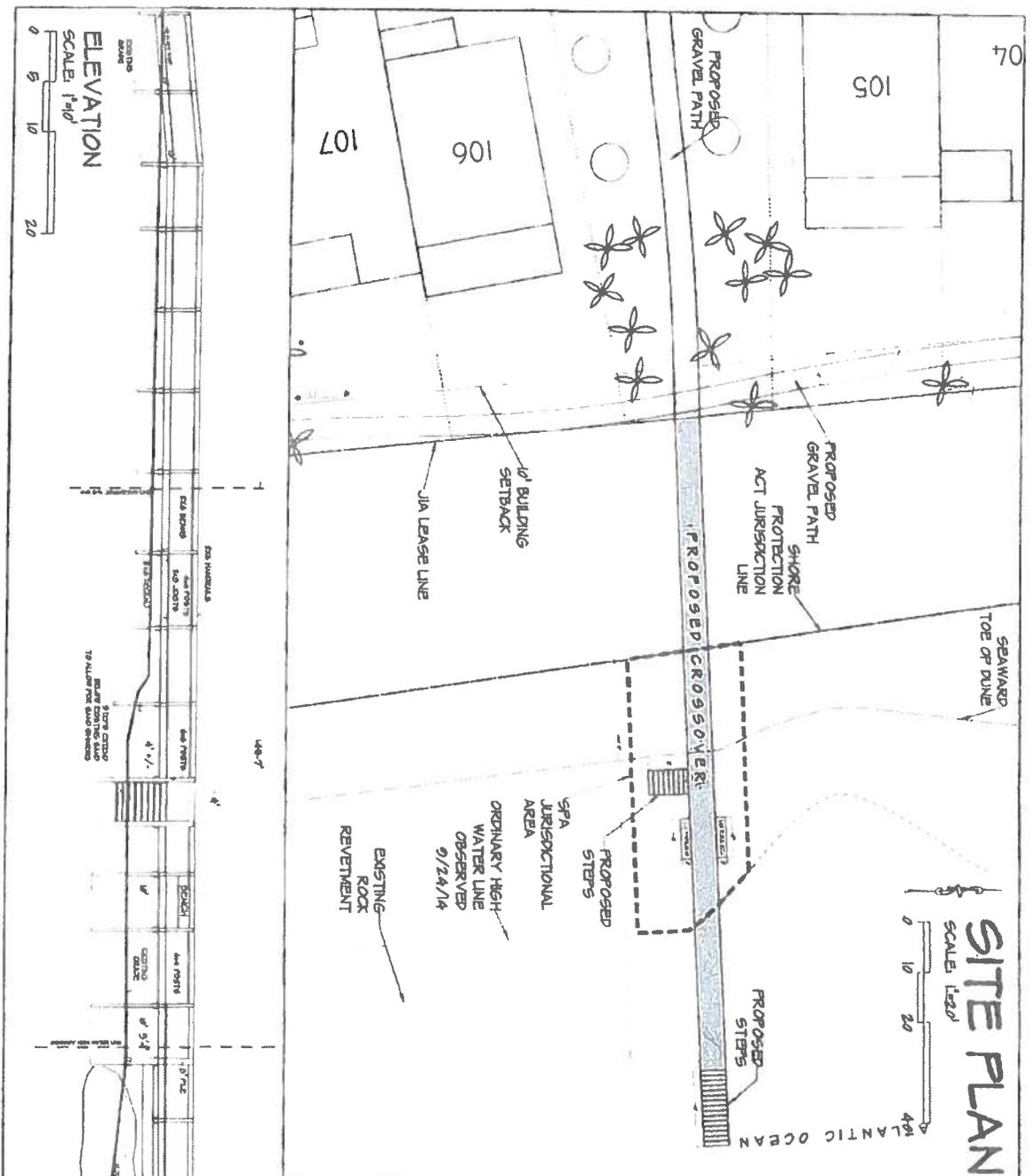


STAIR ELEVATION

SCALE: 1"=4'



ELEVATION SCALE: 1"=4'



SITE PLAN

SCALE: 1"=40'

SITE CALCULATIONS CROSSOVER #3

- EXISTING AND PROPOSED FEATURES SHOWN
- A PORTION OF THE PROJECT AREA IS ON JERVILL ISLAND AUTHORITY PROJECT
- SEE SITE PLAN FOR EXISTING CONTROL DEVICES
- EXISTING NATURAL VEGETATION LANDSCAPING
- PROPOSED NATURAL FEATURES, SIGNIFICANT RESOURCE
- THE SHORE JURISDICTION LINE WAS RECALCULATED ON NOVEMBER 14, 2008 AND WILL NORMALLY DEPART ON NOVEMBER 14, 2009
- PROJECT/STRUCTURE DIMENSIONS SHOWN
- SCALE FOOTAGE CALCULATIONS



STAIR ELEVATION

SCALE: 1"=40'

