



COASTAL RESOURCES DIVISION

ONE CONSERVATION WAY · BRUNSWICK, GA 31520 · 912-264-7218

WALTER RABON
COMMISSIONER

DOUG HAYMANS
DIRECTOR

July 9, 2026

Jeffrey Cramer
Diversified Designs
11 Jones Avenue
Tybee Island GA 31328

RE: Letter of Permission (LOP), Construction and Maintenance, Roofs over Existing Decks within Shore Protection Act (SPA) Jurisdiction, 1A & 1B 6th Street, Tybee Island, Atlantic Ocean, Chatham County, Georgia

Dear Mr. Cramer:

This LOP is in response to your request to maintain a previously impacted SPA jurisdictional area associated with an existing residential structure in SPA jurisdiction at the above referenced property. The project includes the construction and maintenance of a roof over the existing 2nd story decks associated with each residential unit located at #1 6th Street. The project will begin no sooner than 15 days after the date on this letter and be completed within 6 months.

The project includes the addition of a roof over the existing 8ft. x 14ft. (140sq.ft. each) deck on each residential unit. The roof addition will limit the direct exposure of the structure's windows and doors to weather. The project includes the use of scaffolding to provide access to the second floor. All equipment will be staged within the footprint of the hardscaped patios immediately landward of the retaining wall. If a construction dumpster is required, the dumpster must be placed on the landward side of the parcel. To minimize impacts to SPA jurisdiction area, no equipment or activities can occur seaward of the retaining wall.

The Department authorizes the activities associated with the project as depicted in the attached plans. No trimming or removal of natural dune vegetation is authorized. To protect marine turtle hatchlings, replacement, or the use of exterior lighting on the subject parcel must be consistent with the Department of Natural Resources' Wildlife Resources Division's Sea Turtle nesting guidelines, as well as the lighting ordinance of the City of Tybee Island. It is the applicant's responsibility to minimize any additional impacts at the site and to protect the shore jurisdictional areas.

This LOP is not meant to exempt the above referenced activities from future environmental laws. **No unauthorized equipment, materials or debris may be placed, disposed of, or stored in jurisdictional areas.** Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states.

This LOP is valid for the above-mentioned project. Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office could result in the revocation of this LOP and in the required removal of the materials and related structures. This project must comply with all other Federal, State, and local statutes, ordinances, and regulations.

Please contact Deb Barreiro at 912.266.3695 if you have questions.

Sincerely,

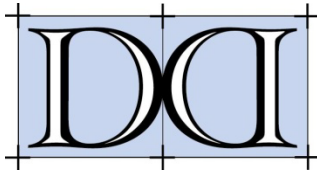
A handwritten signature in blue ink, appearing to read "Jill Andrews".

Jill Andrews
Chief, Coastal Management Section

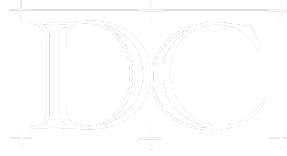
Enclosures: Project Description and Plans

cc: Patricia Sinel
City of Tybee Island
P.O. Box 2749
Tybee Island, Georgia 31328

File: LOP20260056



DIVERSIFIED DESIGNS, P.C.



11 Jones Avenue
Tybee Island GA 31328

T 912.786.7945

F 912.786.7943

diversifieddesigns@outlook.com

Third Floor Deck/Roof Package For 1A & 1B 6TH Street, Tybee Island, Ga.

June 12, 2026

Deb Barrero,
Marsh & Shore Permitting Staff
GA DNR CRD

One Conservation Way,
Brunswick, Ga. 31520

Mrs. Barrero,

Description of Project:

Diversified Designs proposes adding two Roofs over the existing Decks on the Third Floor of 1A and 1B 6TH Street, Tybee Island, Ga. 31328. The roof will be over the Existing Third Floor Decks of both units. The reason that we are proposing this Roof Addition, is because we just had to repair all the windows and doors on the Ocean Side/East Façade of the house. There were wind driven rain coming in around the windows and doors that dripped all the way down the through the walls to the concrete foundation wall. We had to replace structural members all the way down to the first floor of the house to the block foundation.

This proposed Roof Addition will limit direct expose of the elements on the East Façade of the house, protecting it for years to come.

Our proposal requests to add Roofs over the existing 8'x14' Deck on both units. Each Roof will be approximately 140 S.F. The existing Third Floor Deck will be covered by the Roof Addition. This Addition Proposal was crafted in order to protect the new windows and doors on the East Facade of both units that had previously been replaced due to water damage. The proposed Roof Addition will limit the direct exposure of the windows and doors to the elements protecting the home for years to come.

Please consider this proposal.

Aerial Photos of Site:



Site Photos:



Photo of Rot around Windows

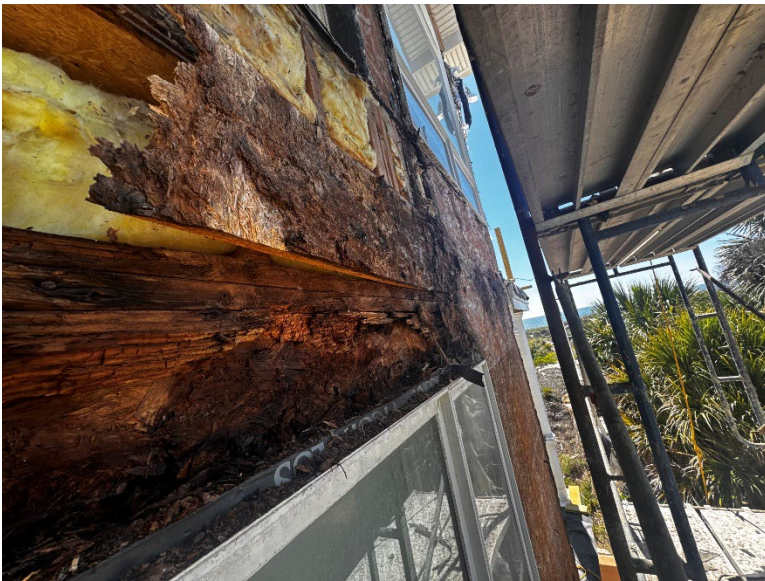


Photo of Rot around Windows



Photo of Rot around Windows



Photo of Rot around Door



Existing Under Construction Rock Repair



Existing Unit B: Rear Elevation



Existing Unit A: Rear Elevation



Site Conditions: Ground level



Site Conditions Ground Level



Site Conditions: Existing Boardwalk

Deck/Roof Design:

See Attachment- Deck_Roof Design_1A and 1B 6TH Street

Thank you,

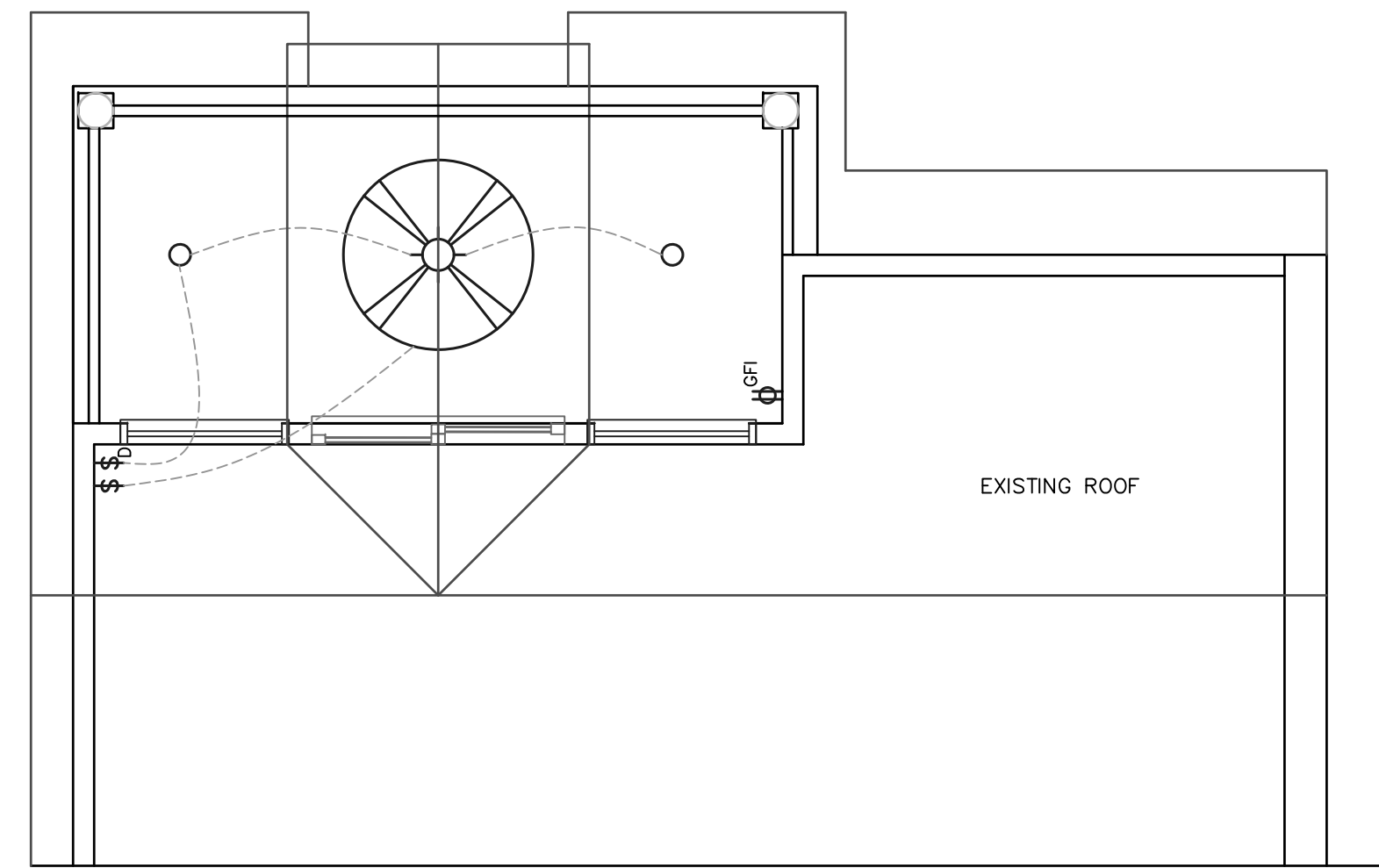
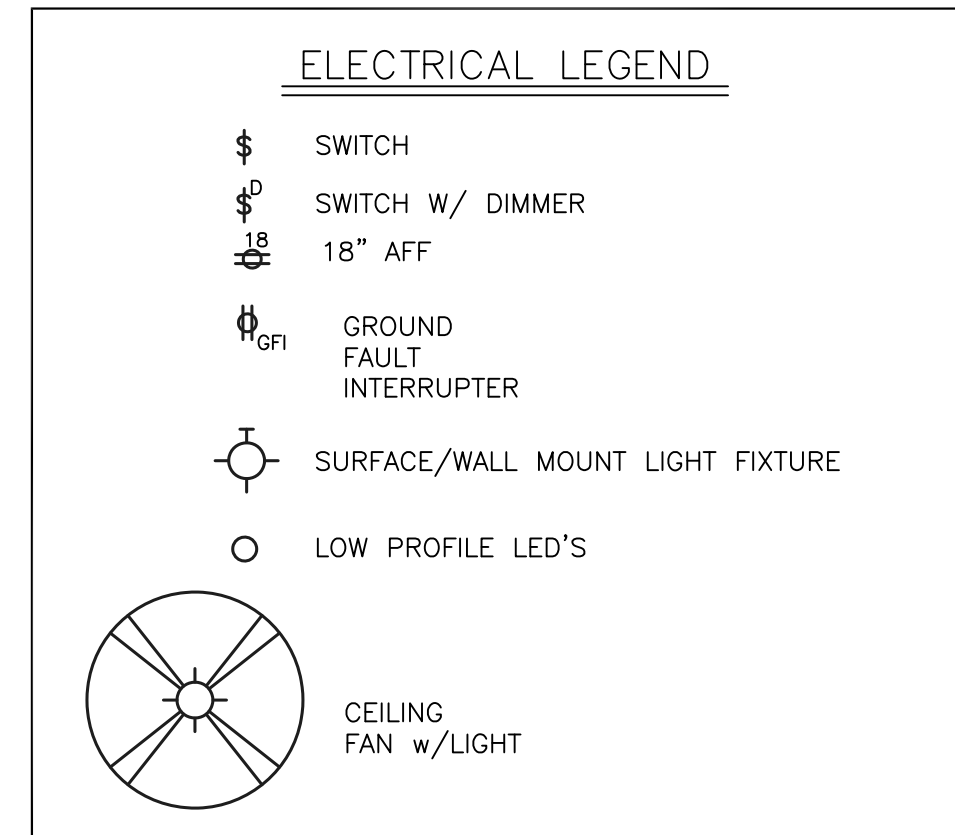
Jeff Cramer



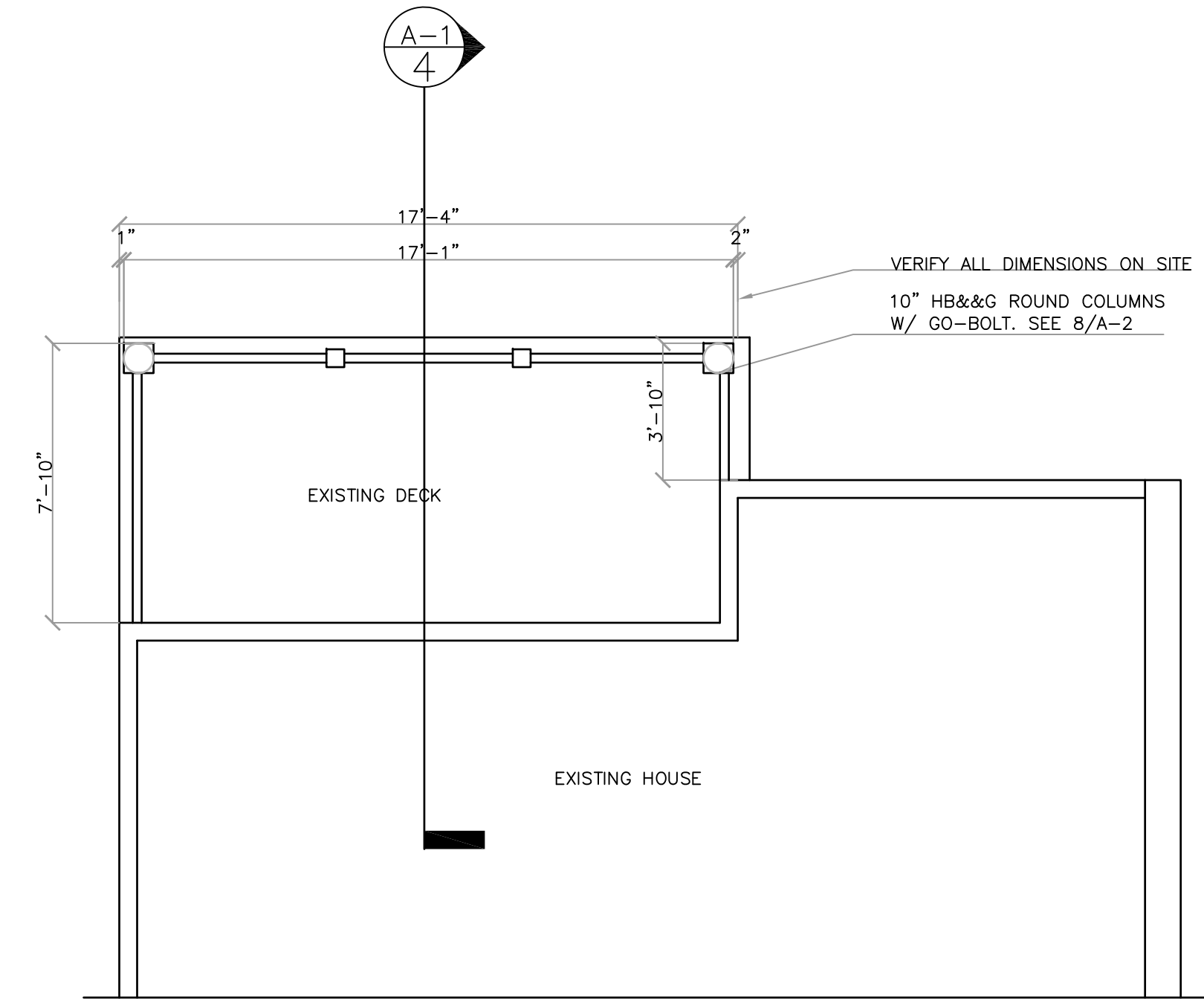
NOTE: ALL EXTERIOR LIGHTING TO FULFILL TYBEE CODE OF ORDINANCE SECTION 3-230. TURTLE NESTING PROTECTION (B) NEW DEVELOPMENT. BUILDING AND ELECTRICAL PLANS FOR NEW CONSTRUCTION.... AND ALL OTHER OUTDOOR LIGHTING THAT CAN BE SEEN FROM THE BEACH SHALL COMPLY AS FOLLOWS:

- 1) FLOODLIGHTS SHALL BE SHIELDED & MOUNTED SO THAT NO LIGHT ILLUMINATES THE BEACH & THE POINT SOURCE OF LIGHT IS NOT VISIBLE FROM THE BEACH.
- 2) POLE LIGHTING SHALL BE SHIELDED & MOUNTED SO THAT LIGHT IS DIRECTED AWAY FROM THE SEWARD SIDE OF THE POLE & THE POINT SOURCE OF LIGHT IS NOT VISIBLE FROM THE BEACH.
- 3) LOW PROFILE LUMINARIES SHALL BE POSITIONED SO THAT NO LIGHT SHINES DIRECTLY ON THE BEACH
- 4) LIGHT ILLUMINATING STRUCTURES & GROUND SHALL BE SHIELDED OR SCREENED SO THAT THEY DO NOT ILLUMINATE THE BEACH & THE POINT SOURCE OF LIGHT IS NOT VISIBLE FROM THE BEACH, OR THEY SHALL BE TURNED OFF FROM SUNSET TO SUNRISE DURING THE PERIOD OF MAY 1 THROUGH OCTOBER 31 OF EACH YEAR.
- 5) LIGHT ILLUMINATING STRUCTURES & GROUND SHALL BE SHIELDED OR SCREENED SO THAT THEY DO NOT ILLUMINATE THE BEACH & THE POINT SOURCE OF LIGHT IS NOT VISIBLE FROM THE BEACH, OR THEY SHALL BE TURNED OFF FROM SUNSET TO SUNRISE DURING THE PERIOD OF MAY 1 THROUGH OCTOBER 31 OF EACH YEAR.
- 6) TEMPORARY SECURITY LIGHTS AT CONSTRUCTION SITES SHALL NOT BE MOUNTED HIGHER THAN 15 FEET ABOVE GROUND AND SHALL BE POSITIONED NOT TO ILLUMINATE THE BEACH.

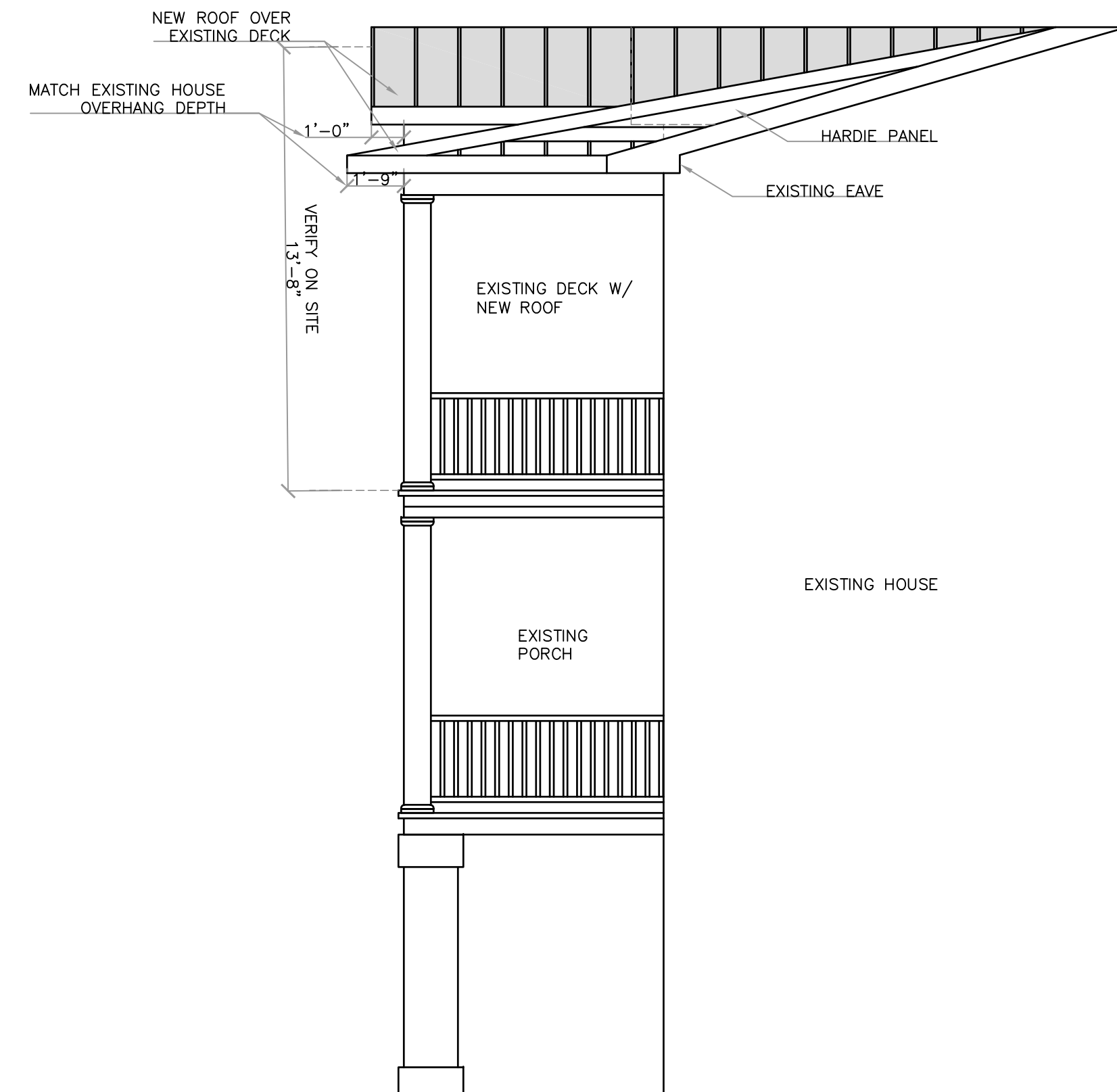
DEFINITION OF LOW PROFILE LUMINARY PER TYBEE CODE OF ORDINANCE ARTICLE 2 - SECTION 2-010
 LOW PROFILE LUMINARY: LIGHT FIXTURES SET ON A BASE WHICH RAISES THE LIGHT NO HIGHER THAN 60 INCHES OFF THE GROUND AND DESIGNED SO THAT THE LIGHT IS DIRECTED DOWNWARD FROM A HOODED LIGHT SOURCE.



5 ELECTRICAL PLAN
 SCALE: 1/4"=1' -0"



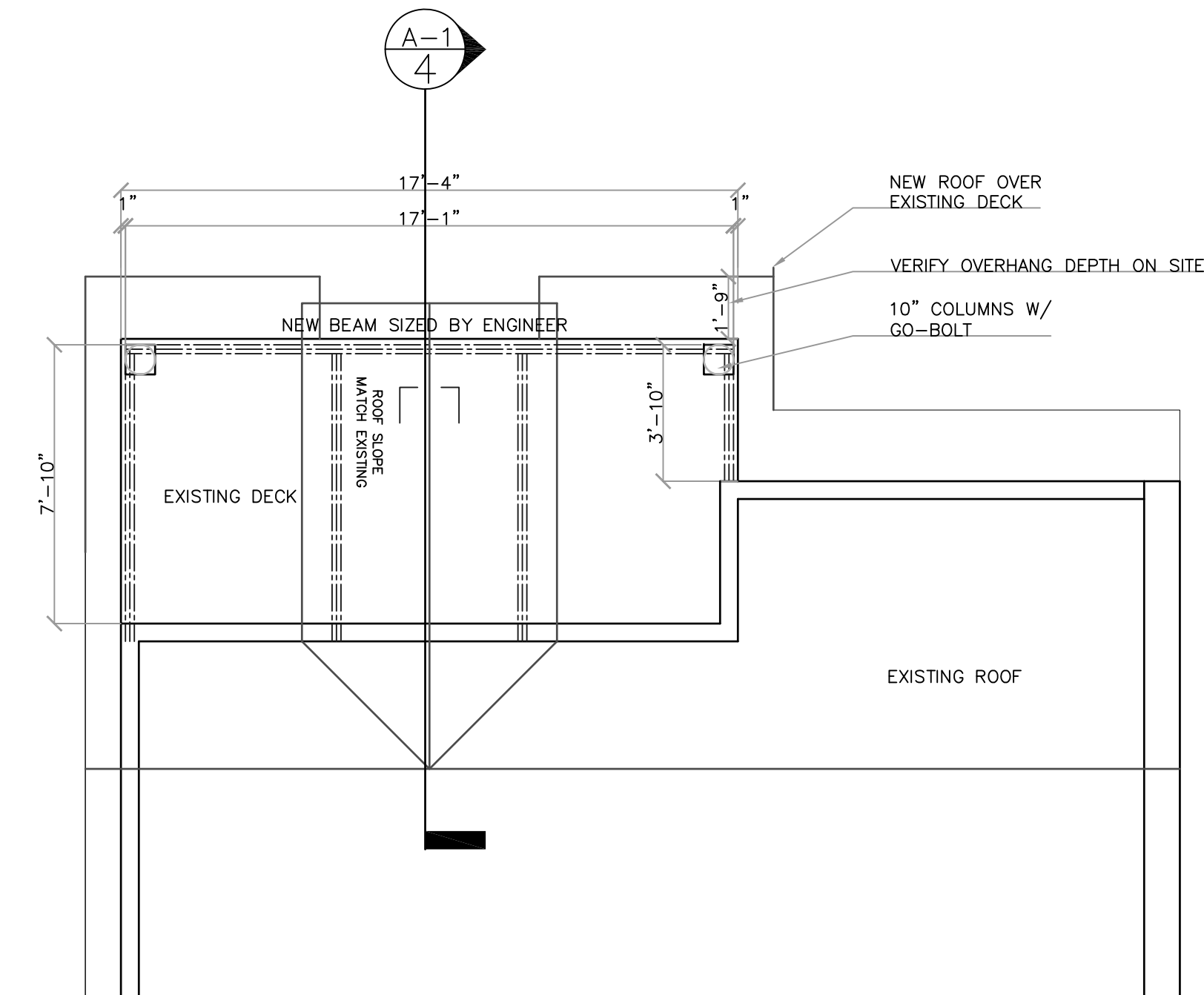
1 PROPOSED TOP FLOOR PLAN
 SCALE: 1/4"=1' -0"



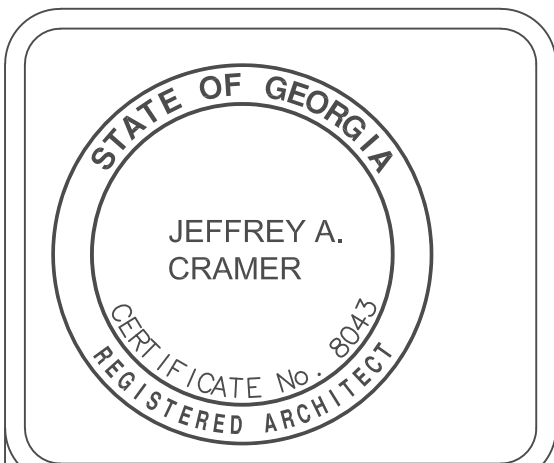
4 PROPOSED SIDE ELEVATION
 SCALE: 1/4"=1' -0"



3 PROPOSED REAR ELEVATION
 SCALE: 1/4"=1' -0"



2 PROPOSED ROOF PLAN
 SCALE: 1/4"=1' -0"



REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION. DRAWINGS ARE THE PROPERTY OF DIVERSIFIED DESIGNS P.C.

REVISIONS

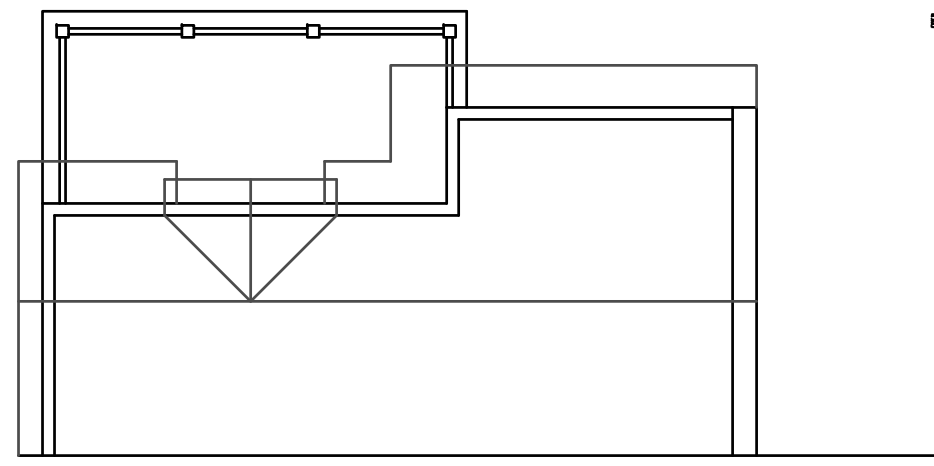
1.	REVISED 10.01.2025

DIVERSIFIED DESIGNS P.C.
 P.O. BOX 1997, 11 JONES AVE.
 TYBEE ISLAND, GA. 31328
 EMAIL: diversifiedesigns@outlook.com
 (912)786-7945 (800)858-4125
 (912)786-7944 (912)786-7943 FAX

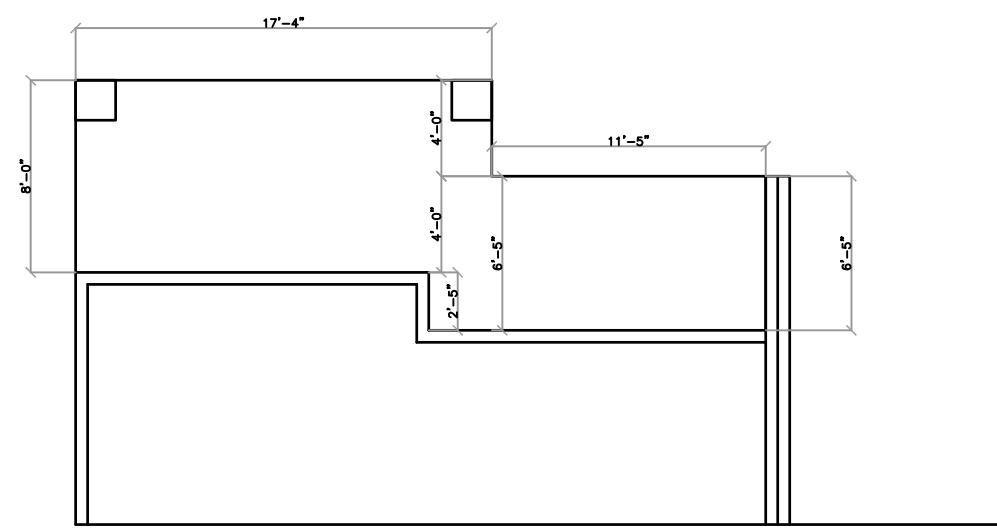
USHER REMODEL
 1-A 6TH STREET
 TYBEE ISLAND, GA. 31328
 PROPOSED PLANS AND DETAIL

DRAWN BY: TLH
 CHECKED BY:
 DATE: 3/24/2026
 SCALE: 1"=10'-0"
 PROJECT#

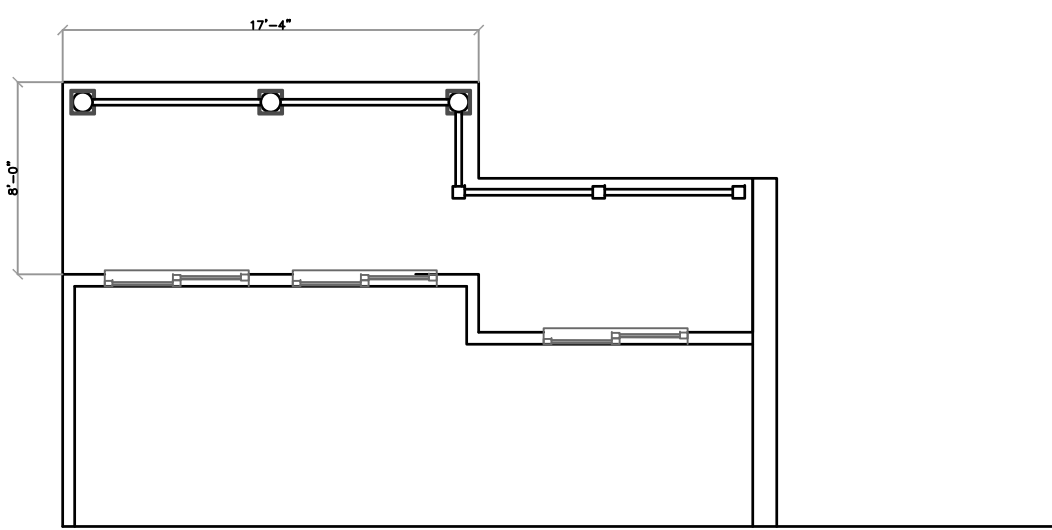
PRELIMINARY SET
A-1



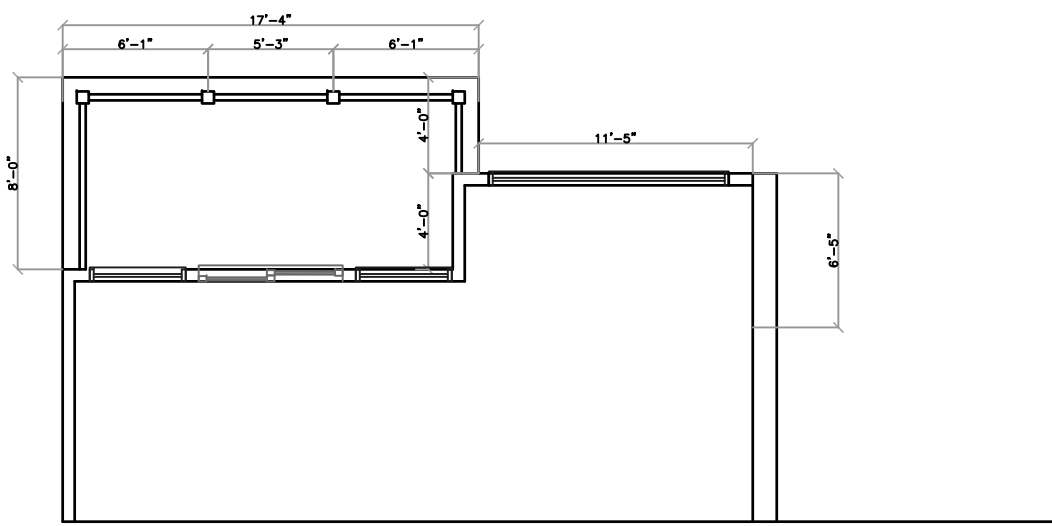
6
A-2 **EXISTING ROOF PLAN**
SCALE: 1/4"=1' -0"



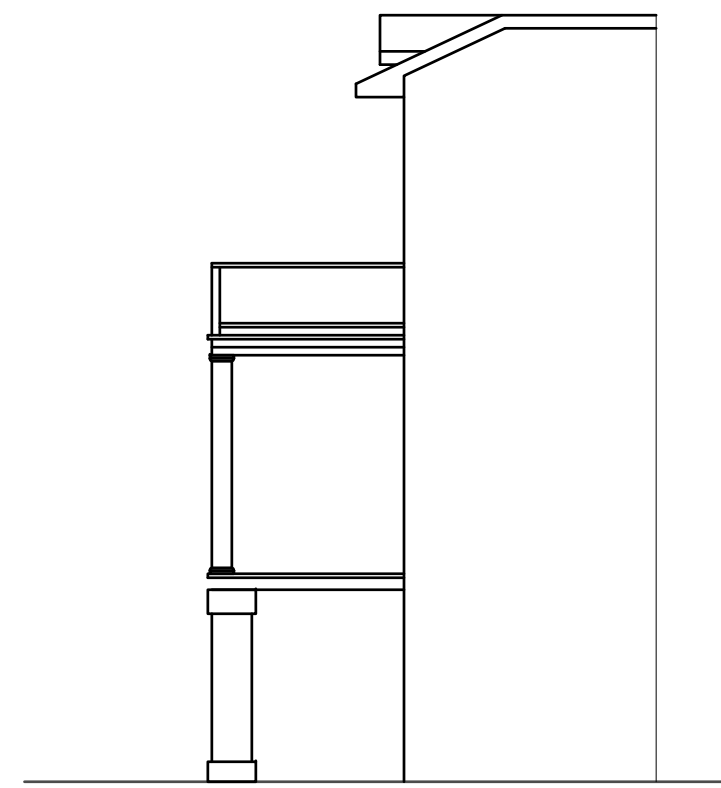
3
A-2 **EXISTING GROUND FLOOR PLAN**
SCALE: 1/8"=1' -0"



4
A-2 **EXISTING FIRST FLOOR PLAN**
SCALE: 1/8"=1' -0"



5
A-2 **EXISTING SECOND FLOOR PLAN**
SCALE: 1/8"=1' -0"



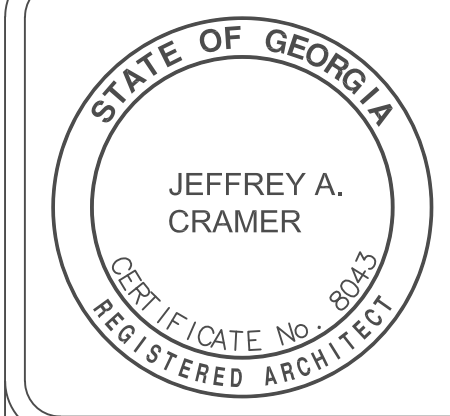
7
A-2 **EXISTING SIDE ELEVATION**
SCALE: 1/4"=1' -0"



2
A-2 **EXISTING REAR ELEVATION**
SCALE: 1/4"=1' -0"



1
A-2 **PROPOSED REAR ELEVATION**
SCALE: 1/4"=1' -0"



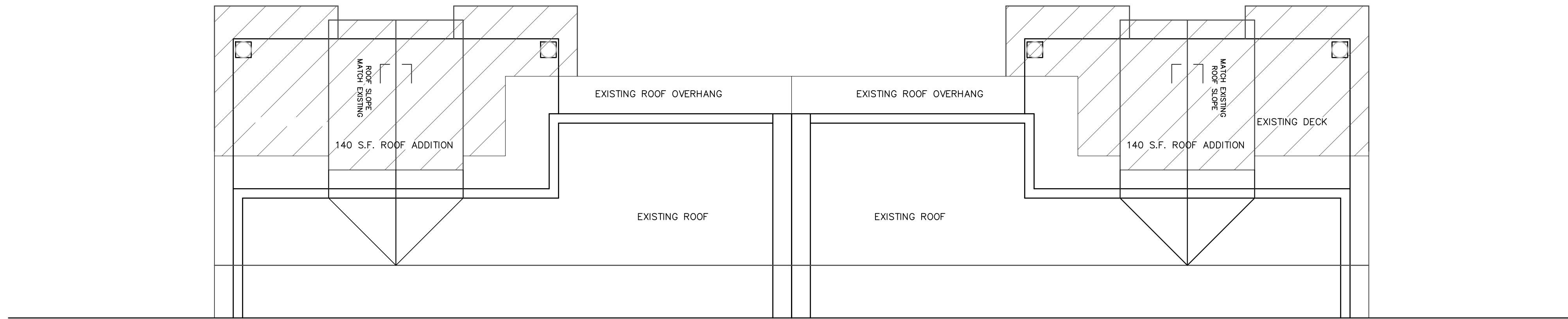
REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION. DRAWINGS ARE THE PROPERTY OF DIVERSIFIED DESIGNS P.C.

REVISIONS
1. REVISED 10.01.2025

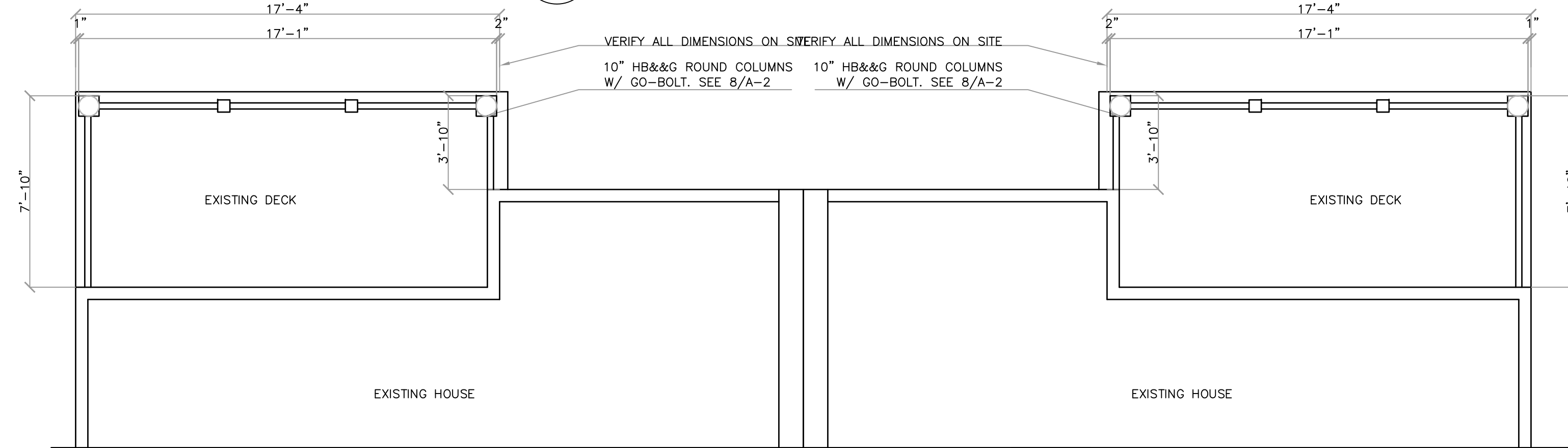
DIVERSIFIED DESIGNS P.C.
P.O. BOX 1997, 11 JONES AVE.
TYBEE ISLAND, GA. 31328
EMAIL: diversifiedesigns@outlook.com
(912)786-7945 (800)858-4125
(912)786-7944 (912)786-7943 FAX

PROPOSED USHER DECK ROOF ADDITION
1-A 6TH STREET
TYBEE ISLAND, GA. 31328
EXISTING PLANS & ELEVATION

DRAWN BY: TLH
CHECKED BY:
DATE: 3/24/2026
SCALE: 1"=10'-0"
PROJECT#
PRELIMINARY SET
A-2



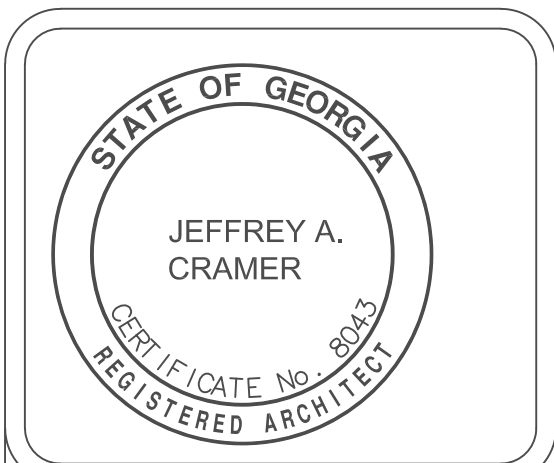
1 PROPOSED ROOF PLAN FOR ROOF ADDITION
 SCALE: 1/4" = 1' - 0"



2 PROPOSED TOP FLOOR PLAN
 SCALE: 1/4" = 1' - 0"



3 PROPOSED DECK ROOF ADDITION ELEVATION
 SCALE: 1/4" = 1' - 0"



REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION. DRAWINGS ARE THE PROPERTY OF DIVERSIFIED DESIGNS P.C.

REVISIONS

1.	REVISED 10.01.2025

DIVERSIFIED DESIGNS P.C.
 P.O. BOX 1997, 11 JONES AVE.
 TYBEE ISLAND, GA. 31328
 EMAIL: diversifiedesigns@outlook.com
 (912)786-7945 (800)858-4125
 (912)786-7944 (912)786-7943 FAX

PROPOSED USHER DECK ROOF ADDITION
 1A 6TH STREET
 TYBEE ISLAND, GA. 31328
 PROPOSED REAR ELEVATION

DRAWN BY: TLH
 CHECKED BY:
 DATE: 3/24/2026
 SCALE: 1" = 10' - 0"
 PROJECT#
PRELIMINARY SET
A-3







February 16, 2001

Mr. Tom Waters
104 Lazy Lagoon Way
Savannah, Georgia 31410

RE: SPA Permit #305 for dune crossover structure and a portion of the existing retaining wall,
#1 6th Street, Tybee Island, Chatham County, Georgia

Dear Mr. Waters:

The Shore Protection Committee considered and approved your plans under the Minor Provisions of the Shore Protection Act to construct and maintain a dune crossover structure 4' wide by 153' long that begins at the center of the existing concrete retaining wall and terminates on the seaward side of the toe of the primary dune on the dry sand beach. There will be a minimum of 30" clearance between the crossover structure and the existing sand dunes. The crossover structure will contain a 12' octagon-shaped seating area that will be located between the primary and secondary sand dunes. The seating area will have hand rails the same height as the crosswalks but will not be covered or roofed. You are also granted permission to keep a small portion of the retaining wall that is currently on/over the jurisdiction line so that the structure will be in compliance. There will be a minimum of 36" clearance between the crossover structure and existing sand dunes. The SPA permit is conditioned as follows:

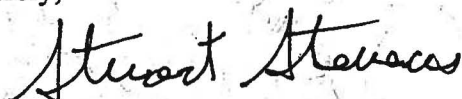
1. The project must comply, as applicable, for areas permitted herein, with all other Federal, State, and local statutes, ordinances, and regulations, and the applicant must obtain all licenses and permits prior to commencement of construction.
2. No further encroachment or construction shall take place within State jurisdiction, except as permitted by the Shore Protection Committee. Any modification of the plans must be approved by the Department prior to construction.
3. A copy of the above conditions must be supplied to the person in charge of construction.
4. The exact location and configuration of this project must be reviewed onsite and approved by DNR immediately prior to beginning construction. Minor changes to the location may be allowed or required in areas that have eroded or accreted subsequent to the original jurisdictional determination.
5. The public shall maintain rights of ingress and egress on the foreshore beach area seaward of the ordinary high water mark.

Enclosed is one (1) copy of the permit to be posted at the work site (within 24 hours) for the duration of the construction activity. This letter is to be held by you for your files and for

Robert Chu
February 16, 2001
Page 2

inspection by any authorized persons. The expiration date for the permit is five (5) years from the date of issuance (i.e. February 16, 2006). However, no construction may commence within the area of jurisdiction of the Act until the expiration of thirty (30) days following the date of issuance (i.e. March 18, 2001). No work or land alteration is authorized except as provided in accordance with the provisions of the Coastal Marshlands Protection Act. Please read carefully and comply with the terms and conditions of this permit.

Sincerely,



Dr. Stuart A. Stevens, Chief
Ecological Services

SAS/kmm

Cc: Mr. Robert M. Chu
7726 Johnny Mercer
Savannah, Georgia 31410

STATE OF GEORGIA
REVOCABLE LICENSE REQUEST

10-26-00 00804:09 RCVD

Check Appropriate Application

- Individual
- Joint Individu
- Corporate

APPLICANTS NAME(S): Robert T Chu

ADDRESS: #1 6th ST Tybee Island, Ga. 31328

(Street) (City) (State) (Zip)

COUNTY: Chatham WATERWAY: _____ DATE: 10-26-00

CORP APPLICATION NO.: _____

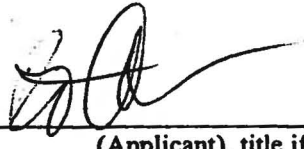
Dr. Stuart A. Stevens
 Georgia Department of Natural Resources
 Ecological Services Branch
 One Conservation Way
 Brunswick, Georgia 31523-8600

Dear Dr. Stevens:

I am making application for a permit with the U.S. Department of the Army, Corps of Engineers, Savannah District. I understand that the issuance of such a permit will not relieve me of the obligation to obtain authorization from the State of Georgia since the proposed project would constitute an encroachment on the beds of tidewaters which are State-owned property. Accordingly, I hereby request that I be granted a revocable license from the State of Georgia. Attached hereto and made a part of this request is a copy of the plans and description of the project which will be the subject of such a license.

I understand that if permission from the State is granted, it will be a revocable license and will not constitute a license coupled with an interest. I further acknowledge that such a license would relate only to the property interests of the State and would not obviate the necessity of obtaining any other State license, permit or authorization required by State law.

I recognize that I waive my right of expectation of privacy and I do not have the permission of the State of Georgia to proceed with such project until a copy of this request has been signed by Commissioner Barrett.

Sincerely, 

By: _____
 (Applicant), title if applicable

By: _____
 (Applicant), title if applicable

Attachment

The State of Georgia hereby grants you a revocable license not coupled with an interest as provided in your request. This area may now in the future be utilized by boats employing power drawn nets under the provisions for commercial or sport bait shrimping.

The licensee's occupancy and use of the premises, licensee shall not discriminate against any person on the basis of race, gender, color, national origin, religion, age, or disability. This covenant by licensee may be enforced by termination of this license, by injunction, and by any other remedy available at law to the Department.

STATE OF GEORGIA
 Office of the Governor


The Georgia Shore Protection Committee

PERMIT

TO

Robert Chu

For



Construct and maintain a 4' x 153' dune crossover that begins at the center of the existing concrete retaining wall and terminates on the seaward side of the toe of the primary dune on the dry sand beach. The structure will contain a 12' octagon-shaped seating area located between the primary and secondary sand dunes and will not be covered or roofed.

Date: February 16, 2001

Permit No.: #305

By: Strat A. Stevens PhD