



DEPARTMENT OF NATURAL RESOURCES
COASTAL RESOURCES DIVISION
ONE CONSERVATION WAY · BRUNSWICK, GA 31520 · 912-264-7218

WALTER RABON
COMMISSIONER

DOUG HAYMANS
DIRECTOR

July 1, 2026

Alan Robertson
Sea Shore Colony Homeowners Association, Inc.
P.O. Box 1961
Tybee Island, GA 31328

RE: Letter of Permission (LOP), Maintenance of Existing Private Dune Crossover, Shore Protection Act (SPA) Jurisdiction, Sea Shore Colony Homeowners Association Inc, Tybee Island, Atlantic Ocean, Chatham County, Georgia

Dear Mr. Robertson:

This Letter of Permission (LOP) is in response to your request to maintain an existing dune crossover located in the shared pedestrian easement at the eastern terminus of Driftwood Court, Tybee Island. The project will begin no sooner than 15 days after the date on this letter and be completed within 6 months.

SPA #148 authorized construction and maintenance of five (5) dune crosswalks. SPA Permit #148 was extended for five years at the request of Stephen McCusker on May 14, 1991. Seashore Colony constructed three (3) of the permitted dune crosswalks at the eastern terminus of Driftwood Court, Sandlewood Court, and Palmwood Court.

The project scope includes maintenance of the existing 5ft. x 180ft. Driftwood Court crossover. To facilitate the replacement of stringers, decking, and hand rails, a 3ft. corridor of vegetation will be trimmed in a linear area parallel to, and immediately adjacent to, the existing dune crossover. All trimmed vegetation and discarded crossover materials will be removed from the site daily. All debris from the project will be disposed of in an off-site disposal facility. Using hand tools only, any excavated sand will be collected and manually deposited seaward of the ordinary high-water mark immediately seaward of the crossover. An unauthorized mid-point seating area will be removed in conjunction with this project. Stockpiling material in the dunes is prohibited. No vehicles are authorized on the beach in association with the project.

Because the project may occur between May 1st and October 31st, sea turtle nesting season, an individual with a DNR Sea Turtle Cooperators Permit is required to survey the area prior to the work beginning. All turtle nests must be avoided and no activity may occur within 20ft. of a nest area.

Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office, could result in the revocation of this LOP and in the required removal of the materials and related structures. This project must comply with all other Federal, State, and local statutes, ordinances and regulations.

The Department authorizes the maintenance of the dune crossover as depicted in the attached description and plans. No heavy equipment is authorized in connection with this project. All work must be accomplished using hand tools only. This LOP is not meant to exempt the above referenced activity from future environmental laws. **No unauthorized equipment, materials or debris may be placed, disposed of, or stored in jurisdictional areas.** Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states. This LOP is valid for the above referenced project.

If you have any further questions or concerns about this or any other project, please feel free to contact Deb Barreiro at (912) 266.3695.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jill Andrews".

Jill Andrews
Chief, Coastal Management Section

Enclosures: LOP Request, SPA Permit #148, SPA Standard Conditions for Dune Crosswalks

cc: Patricia Sinel
Director of Community Development
City of Tybee Island
P.O. Box 2749
Tybee Island, Georgia 31328

File: LOP20260057

SEA SHORE COLONY HOMEOWNER'S ASSOCIATION

June 26, 2026

Ms. Deb Barreiro
Georgia Department of Natural Resources
Coastal Resources Division

RE: Seashore Colony Homeowners Association Request for Letter of Permission for routine maintenance of a private crossover under SPA Permit #148

Dear Deb:

You should have received a Building Permit request from the City of Tybee Island for Seashore Colony HOA ("the HOA") to perform routine maintenance of a private crossover on Driftwood Court. I am writing as President of the HOA to support you with the particulars of our project.



The HOA has previously performed routine maintenance of this crossover under SPA Permit #148, which was issued on January 24, 1986. The Driftwood crossover was installed 34 years ago and is in serious disrepair.

PO Box 1961, Tybee Island, GA 31328

SEA SHORE COLONY HOMEOWNER'S ASSOCIATION

The crossover is approximately 180 ft long and 5 ft wide as measured from the outside posts. Its seaward terminal end is approximately 180 ft from the landward toe of the most landward dune. The height of the structure is approximately 36" above grade. There will be no change to the current crossover's length nor width.

The decking, handrails, and bracing are to be replaced with marine grade pressure treated lumber, using stainless steel hardware. All equipment used will be hand tools. No heavy equipment will be used. There will be no clearing and grading of dunes. Materials will be stockpiled on a lot on Driftwood Court, well landward of the dunes. Vegetation may be cleared for the width of the structure if needed to assure structural integrity of the crossover. No sand will be removed from the site.

The HOA respectfully requests a Letter of Permission to perform routine maintenance of the crossover.

Thank you for your consideration. Please do not hesitate to call me directly if you have any questions or need anything else.

Respectfully submitted,

Alan W Robertson

Alan W Robertson
President
Seashore Colony HOA
PO Box 1961
Tybee Island, GA 31328
847-525-5040

Cc: Lisa Schaaf, City of Tybee Island
Todd Krull, Expert Marine Construction

Georgia Department of Natural Resources

One Conservation Way, Brunswick, Georgia 31523-8600

Joe D. Tanner, Commissioner
Duane Harris, Director
Coastal Resources Division
912/264-7218
FAX 912/262-3143

April 27, 1993

Mr. Stephen M. McCusker
P. O. Box 13426
Savannah, GA 31416

RE: SPC Permit #148, Ocean View and Seaside
Colony, Tybee Island, GA

Dear Mr. McCusker:

The Shore Protection Committee reviewed your request for a five-year extension of time on SPC permit #148 as issued on May 14, 1991.

According to Georgia Law O.C.G.A. 12-5-239 (e), if the committee finds that a good effort and diligence towards completion of work has been made; under O.C.G.A. 12-5-235 (c), the chairman of the committee may issue renewal of a permit previously granted by the committee.

The permit is hereby extended until April 27, 1998. The work must be completed within five (5) years. No additional time extensions are allowed under Georgia Law. All work carried out under this permit must comply with the plans originally submitted, for which the permit was granted.

Sincerely,



Stuart A. Stevens, Ph. D.
Chief, Ecological Services

SAS:rmf

Enclosures: Permit and conditions

CONDITIONS FOR SPC PERMIT #148

1. For areas impacted by this project as permitted herein, the applicant must obtain as applicable all other Federal, State and local statutes, ordinances, and regulations, and the applicant is to obtain all licenses and permits including a State revocable license or State water bottoms lease, prior to commencement of construction.
2. All sand backfill material should be obtained from upland sources and not from the beach.
3. The public shall maintain right of ingress and egress on the foreshore area channelward of the proposed work.
4. No further encroachment nor construction shall take place on the foreshore, except as permitted by the Shore Protection Committee.
5. The proposed structures and dune crossover structures are to comply with the hurricane-resistant building standards as required by the O.C.G.A. 12-5-239 (c) (1.C).
6. Prior to clearing or grading the site for construction, the permittee must stake the boundaries for the building foundations and have these reviewed by the Ecological Services Staff.
8. No clearing or grading of dunes is to be done in conjunction with the construction of decks, and beach access structures except as permitted nor is there to be any stock-piling of materials in the dunes. The dune should have a rope barrier to limit construction near dunes.
9. The permittee is required to construct five (5) cross-over structures out to the seaward toe of the dune onto the unvegetated, dry sand beach. The cross-over boardwalk should be approximately 2 1/2 feet above the dune and the piling should be driven at least 3 feet below the sand.
10. Chain with post barriers and signs are to be utilized by the permittee and his contractors to prevent off-road vehicular access through the building site to the beach.
11. The incipient sand dune ridges on either side of the boardwalks are to be amended with sand fencing or some suitable material to trap blowing sands.
12. Signs and restrictive vegetation must be erected on the landward end of the site to direct persons onto the boardwalks.

Mr. Stephen M. McCusker

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April 27, 1993

13. Any modifications of the plans must be brought before the Shore Protection Committee for review and permitting.
14. A copy of the above conditions must be supplied to the person in charge of construction at the site.
15. Written approval for the cross-over structures must be obtained from the City of Tybee prior to construction on City land from the seaward edge of the Shipwatch Village property line across the City property (dunes) to the toe of the sea wall.

The Georgia Shore Protection Committee

PERMIT

TO

STEPHEN M. MCCUSKER

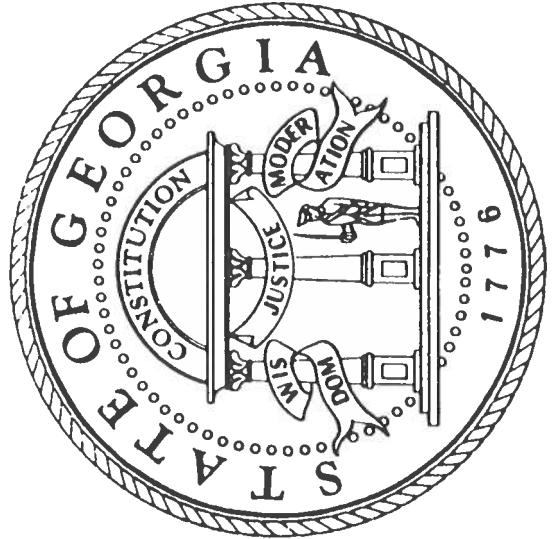
For

FIVE - YEAR RENEWAL FOR
OCEAN VIEW & SEASIDE COLONY
TYBEE ISLAND, GEORGIA.
SPC # 148

Date: April 27, 1993

Permit No.: # 148

By: *Stewart A. Stevesy PhD*



Georgia Department of Natural Resources

One Conservation Way, Brunswick, Georgia 31523-8600

Joe D. Tanner, Commissioner
Duane Harris, Director
Coastal Resources Division
912/264-7218
FAX 912/262-3143

MEMORANDUM

TO: Coastal Marshlands Protection Committee
Commissioner Joe D. Tanner, Chairman
Mr. Steven Beckley
Mr. Glynn Gaskins

FROM: Stuart A. Stevens, Ph.D. *SAS by RD*
Chief, Ecological Services

RE: Minor alterations of less than 0.10 acre - O.C.G.A. 12-5-282 (9) & 12-5-283 (d) - and/or permit renewals as originally issued by Committees

DATE: April 16, 1993

Please review the following requests for a permit which qualifies under the "Minor" provision of CMPA. Advise me if you object to granting or renewal of the permits. According to the law, you may request a hearing by the entire Committee in a public meeting on any permit request. If no request for a public review is received from Committee members within 10 days of this memorandum, the permit will be issued. If you have questions, please contact me.

RENEWALS:

1. Mr. Stephen M. McCusker for SPC #148 requests a five-year extension of time. Project located at Ocean View Development and Seaside Colony Subdivision, on Tybee Island, Chatham County, GA. Original permit was granted on May 14, 1991. A compliance inspection carried out on March 26, 1993, revealed that all activities to date are in compliance with permit conditions. Three new homes have been built and other lots have been sold. The developer stated that two new homes are to start construction within the next two months. Due to the economic conditions of the past two years, he has been unable to finish this project as permitted. The applicant requests no changes from the original permit as issued. Staff recommends the five-year extension of time for permit #148.
2. City of Tybee Island for SPA #180 requests a 5-year extension of time for permitted work on March 31, 1991. The permit is for a proposed pier and pavilion which has not been constructed due to the sluggish economy and tighter lending practices. The applicant states that the city officials are actively pursuing permanent financing to begin the construction. Project will be located on Tybee Island, in Chatham County, Georgia. Staff recommends approval for five-year extension of time for permit #180.

PUBLIC NOTICE

April 16, 1993

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3. City of Tybee Island for SPA #169 requests a 5-year extension of time for a general permit to construct, on an-as-needed basis, dune crossover structures at the street ends located on Tybee Island. The permit was issued on March 31, 1991. Such structures assure public access to the beaches without dune erosion caused by human traffic. The entire project will be located on Tybee Island, in Chatham County, Georgia. Conditions will remain the same as originally issued. All crossovers have been constructed in compliance with permit conditions. Staff recommends approval of extension of time for permit #169.

4. Mr. Eric Hogan for SPC #171 requests a five-year extension of time for a project located at Shipwatch Dunes Subdivision, on Tybee Island, in Chatham County, GA. The permit was granted on March 25, 1991. A compliance inspection was carried out on March 26, 1993. All activities meet permit conditions. Only Lot #1 and Lot #3 remain without houses constructed on them. Due to the real estate market conditions, the developer has been unable to finish this project. The applicant requests no changes from the original permit as issued. Staff recommends approval of request for five-year extension of permit #171.

SAS:rmf

Georgia Department of Natural Resources

One Conservation Way, Brunswick, Georgia 31523-8600

Joe D. Tanner, Commissioner
Duane Harris, Director
Coastal Resources Division
912/264-7218
FAX 912/262-3143

PUBLIC NOTICE

MEMORANDUM

TO: Interested Citizens

FROM: Stuart A. Stevens, Ph.D. *S. Stevens*
Chief, Ecological Services

RE: Permit extension of time as originally issued by Shore Protection Committee, O.C.G.A. 12-5-235 (c)

DATE: April 6, 1993

The following requests for permit time extensions have been received. I am providing you this information in accordance with the Shore Protection Act. You have 10 days from the date of this notice in which to notify me by fax or mail to this office of your intent to provide substantive, site-specific comments as to why the proposed extension of time should not be granted under "minor alterations" provision of the state laws.

If you do not respond within 10 days, I will assume you have no objection to the permit extension of time. Please forward any comments you may have to me at Ecological Services, One Conservation Way, Brunswick, GA 31523 for the listed below.

RENEWALS:

1. Mr. Stephen M. McCusker for SPC #148 requests a five-year extension of time. Project located at Ocean View Development and Seaside Colony Subdivision, on Tybee Island, Chatham County, GA. Original permit was granted on May 14, 1991. A compliance inspection carried out on March 26, 1993, revealed that all activities to date are in compliance with permit conditions. Three new homes have been built and other lots have been sold. The developer stated that two new homes are to start construction within the next two months. Due to the economic conditions of the past two years, he has been unable to finish this project as permitted. The applicant requests no changes from the original permit as issued.
2. City of Tybee Island for SPA #180 requests a 5-year extension of time for permitted work on March 31, 1991. The permit is for a proposed pier and pavilion which has not been constructed due to the sluggish economy and tighter lending practices. The applicant states that the city officials are actively pursuing permanent financing to begin the construction. Project will be located on Tybee Island, in Chatham County, Georgia.

PUBLIC NOTICE

April 6, 1993

Page 2

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4. Mr. Eric Hogan for SPC #171 requests a five-year extension of time for a project located at Shipwatch Dunes Subdivision, on Tybee Island, in Chatham County, GA. The permit was granted on March 25, 1991. A compliance inspection was carried out on March 26, 1993. All activities meet permit conditions. Only Lot #1 and Lot #3 remain without houses constructed on them. Due to the real estate market conditions, the developer has been unable to finish this project. The applicant requests no changes from the original permit as issued.



COASTAL RESOURCES DIVISION

ONE CONSERVATION WAY · BRUNSWICK, GA 31520 · 912-264-7218

WALTER RABON
COMMISSIONER

DOUG HAYMANS
DIRECTOR

Shore Protection Act O.C.G.A. 12-5-230 Standard Permit Conditions for Dune Crosswalks

Only one crosswalk structure shall be allowed on a parcel. In considering the design and routing of a crosswalk, the shortest route over the lowest area of the dunes shall be plotted to minimize impacts to the sand sharing system. For new construction, no decks or viewing platforms will be approved in the jurisdictional area. Previously permitted and grandfathered structures may be maintained provided they are serviceable. Additionally, the applicant requesting the structure must own 100% of the private lands through which the structure crosses or have the express written permission of the owner.

The following standard conditions shall apply to dune crosswalks:

1. The height of the structure shall be at least 36" above the grade of the sand dune and the width shall be no greater than 6' as measured from the outside posts, to allow for sand movement or accretion in the dynamic dune field.
2. The terminal point of the crosswalk shall be seaward of the seaward most dune but shall not encroach seaward of the ordinary high water line in the active intertidal beach.
3. If the shoreline erodes and the crosswalk extends seaward of the ordinary high water line, it will be the responsibility of the applicant to move the permitted improvements back to the dry sand beach, landward of the ordinary high water line.
4. The structure shall begin at the toe of the landward most dune.
5. Heavy equipment is prohibited in the Shore Protection Act jurisdiction. This project must be constructed using hand tools.
6. Clearing and grading of dunes is not authorized in conjunction with the construction of this project; stockpiling of materials in the dunes is prohibited.
7. Vegetation may be cleared only for the width of the permitted structure. The maintenance trimming of jurisdictional vegetation will only be allowed within 6" of the sides of the structure and 7' high over the structure.
8. No motorized vehicles are permitted on the crosswalk structure, except for motorized wheelchairs for handicapped persons.
9. Any sand needed to restore the site to pre-project vegetated and topographic conditions, or for backfilling, must be beach quality and obtained from an upland source and not from the beach.