



COASTAL RESOURCES DIVISION

ONE CONSERVATION WAY • BRUNSWICK, GA 31520 • 912-264-7218

WALTER RABON
COMMISSIONER

DOUG HAYMANS
DIRECTOR

August 7, 2026

Budget Motels (Jekyll Island Days Inn)
c/o Biff Liddle
60 S. Beachview Drive
Jekyll Island, GA 31527

Re: Letter of Permission (LOP), Maintenance and Modification of a Dune Crossover, Shore Protection Act (SPA) Permit #29, Jekyll Island Days Inn, Jekyll Island, Glynn County, Georgia (GPS 31.04281°N/-81.41215°W)

Dear Mr. Liddle:

This Letter of Permission (LOP) is in response to your request dated June 28, 2026, to repair and maintain an existing crosswalk at 60 South Beachview, Jekyll Island, Glynn County, Georgia as described in the attached request. The project will begin no sooner than fifteen (15) days from the date of the letter and must be completed within six (6) months.

SPA Permit #29 was issued on March 18, 1980, for the construction of a dune crossover within SPA Jurisdiction. An LOP (LOP20140072) was issued on March 3, 2014, for the maintenance and elevation of an existing dune crossover due to the crosswalk being covered with sand.

Due to the continued accretion of sand on a portion of the crossover, the applicant is proposing to elevate and maintain the existing 6ft. x 167ft. wooden crossover in its entirety. The project will replace the existing crossover within the same footprint. The seaward 30ft. portion of the crossover that has been covered by sand will remain buried, and the exposed 137ft. of decking will be removed and replaced. The crossover will be raised a minimum of 36in. above the sand throughout its length and railings will be approximately 3.5ft. in height. The crossover will terminate in a ramp perpendicular to the shoreline at the existing terminal location landward of the dunes. An existing footpath continues out to the beach.

All construction access will occur from the applicant's property, and all work within jurisdiction will be accomplished using low impact hand tools. Removal of existing structures shall be removed to the dune surface. No digging or excavation will occur. All construction debris will be removed and disposed of at an appropriate upland disposal site. Any native dune vegetation impacted by construction activity will be replaced in like kind.

As these activities may occur between May 1st and October 31st, sea turtle nesting season, an individual with a DNR Sea Turtle Cooperators Permit is required to survey the area to be used prior to the work beginning. All sea turtle nests must be avoided, and no activity may occur within 20ft. of a nest area.

The Department authorizes the maintenance and repairs depicted in the attached project request and drawings. It is the applicant's responsibility to minimize any additional impacts at the site and to protect the shore jurisdictional areas. **No unauthorized equipment, materials, or debris may be placed, disposed of, or stored in jurisdictional areas.** Any incidental impacts associated with this project must be rectified by fully restoring areas to their pre-construction topographic and vegetative states. This LOP is valid for the above referenced project. Any change in the use, location, dimensions, or configuration of the approved project, without prior notification and approval from this office could result in the revocation of this LOP and in the required removal of materials and related structures. This project must comply with all other Federal, State, and local statutes, ordinances and regulations.

If you have any further questions or concerns, please contact Beth Byrnes at (912)-264-7218.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jill Andrews", with a stylized flourish at the end.

Jill Andrews
Chief, Coastal Management Section

Enclosures: Project Request, Drawings, Site Photos

Cc: Sam LaBarba, sam@labarbaenvironmentalservices.com
Noel Jensen, njensen@jekyllisland.com
Yank Moore, ymoore@jekyllisland.com

File: LOP20260061

June 28, 2026

Georgia Department of Natural Resources
Coastal Resources Division
Attn: Beth Byrnes
1 Conservation Way
Brunswick, Georgia 31520

Subject: Letter of Permission Request
Budget Motels (Jekyll Island Days Inn)
60 S. Beachview Drive
Jekyll Island, Georgia 31527

Dear Mrs. Byrnes,

LaBarba Environmental Services, on behalf of Budget Motels, is submitting the attached request for a Letter of Permission to maintain an existing dune crossover at 60 S. Beachview Drive on Jekyll Island (Days Inn). The existing crossover, issued under Shore Protection Act (SPA) Permit #29, is approximately 6' x 167'. The existing dune crossover has become inundated with sand, leaving the designated route for beach access difficult for guests to navigate. The proposed project consists of elevating the dune crossover in its existing footprint to allow for the sand to freely move beneath the structure while restoring safe beach access.

The proposed project would involve the replacement of the crossover in the existing footprint. The seaward 30+/- ft. of the structure has been covered by sand. That portion of the decking of the crossover will be left buried so as not to disturb the sand. The remaining exposed 137 ft. of decking will be removed and replaced. The new structure will be approximately 3 feet higher than the surrounding sand. Railings will be approximately 3.5 ft. in height. The work is to start no sooner than 15 days from the date of issuance of a Letter of Permission and be completed within 6 months of the date of the Letter of Permission.

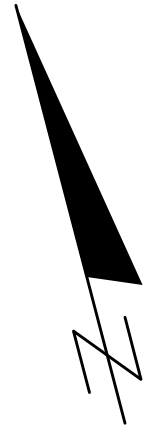
Enclosures:

- Project Description
- Pi-Tech Prepared Exhibits
- Site Photographs
- Legal Documentation

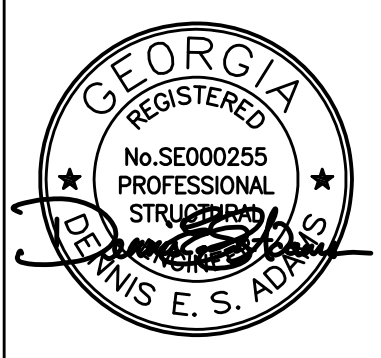
We appreciate your assistance with this project. If you have any questions or require additional information, please contact me at (912) 215-1255.

Sincerely,

LaBarba Environmental Services



DUNE CROSSOVER SITE PLAN – EXISTING CONDITIONS
SCALE: 1" = 60'-0"



REVISION

THIS DRAWING IS THE PROPERTY OF PI-TECH, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON OTHER PROJECTS OR EXTENDING TO THIS PROJECT OR REPRODUCED IN WHOLE OR IN PART, EXCEPT BY AGREEMENT IN WRITING, AND WITH APPROPRIATE COMPENSATION.

DUNE CROSSOVER REBUILD
DAYS INN & SUITES
60 S. BEACHVIEW DR.
JEKYLL ISLAND, GA

PROJECT NO.
-

SHEET TITLE
DUNE
CROSSOVER
SITE PLAN

DATE
06/24/2026

DRAWN BY
DESA

CHECKED BY
DESA

SHEET NUMBER
SP-1

1. WORK BEYOND THE USACE CMAA LINE SHALL BE PERFORMED IN ACCORDANCE WITH USACE AND GEORGIA DEPT. OF NATURAL RESOURCES GUIDELINES.
2. ALL WORK IN THE DUNE FIELD MUST BE COMPLETED OUTSIDE OF THE ESTABLISHED SEA TURTLE NESTING SEASON, WHERE APPLICABLE.
3. CONTRACTOR SHALL PROVIDE STURDIED BARRIERS AROUND WORK AREA TO PREVENT EROSION AND/OR DAMAGE TO DUNES AND VEGETATION, WHERE APPROPRIATE.
4. CONSTRUCTION OF NEW WORK SHALL BE COMPLETED IN STAGES, ALLOWING WORK FOR EACH SUBSEQUENT SECTION TO BE PERFORMED FROM PREVIOUSLY CONSTRUCTED SECTIONS, OR FROM TEMPORARY ELEVATED SURFACES SUPPORTED BY THE NEW PILES.
5. FORT TRAFFIC, TEMPORARY STAGING OF MATERIALS, AND OTHER ACTIVITIES WHICH MAY DISTURB DUNES AND/OR VEGETATION TO BE MINIMIZED. HEAVY EQUIPMENT AND/OR STORAGE OF MATERIALS IS NOT ALLOWED IN THE DUNE FIELD.
6. ALL DEBRIS GENERATED BY CONSTRUCTION ACTIVITIES MUST BE REMOVED FROM THE PROJECT SITE DAILY, WITHOUT EXCEPTION.
7. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, THE DUNE SYSTEM SHALL BE RETURNED TO THE PRE-CONSTRUCTION CONDITIONS, AS MUCH AS POSSIBLE.
8. TIMBER PILES/POSTS ARE TO BE INSTALLED TO A MINIMUM DEPTH OF 5'-0" BELOW CURRENT LOW GRADE, EXCEPT WHERE NOTED OTHERWISE.
9. PILES SHALL BE INSTALLED USING EXCAVATED/AUGURED HOLES OR WATER JETTING, WITH MINIMUM DISTURBANCE TO DUNE FIELD IN ACCORDANCE WITH GEORGIA DNR ENVIRONMENTAL GUIDELINES. CONTRACTOR IS RESPONSIBLE FOR ACHIEVING THE MINIMUM EMBEDMENT DEPTHS INDICATED.
10. SITE DIMENSIONS & ELEVATIONS ARE ESTIMATES & SHOULD BE VERIFIED PRIOR TO STARTING WORK.

1. WOOD FRAMING SHALL BE INSTALLED PER INTERNATIONAL BUILDING CODE, 2024 EDITION WITH LATEST GA AMENDMENTS, & NATIONAL DESIGN SPECIFICATION, LATEST ED.
2. DESIGN LINE LOAD = 60 PSF, U.N.O. (MULTI-FAMILY DUNE WALKOVER)
3. ALL LUMBER USED IN CONSTRUCTION TO BE SOUTHERN YELLOW PINE NO. 2 OR BETTER.
4. ALL LUMBER NOTED IN SPECIFICATIONS SHALL BE SOUTHERN YELLOW PINE NO. 2 OR BETTER.
5. ALL LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AMPA STANDARD U1, USING THE FOLLOWING CRITERIA:
 - 4.1. HANDRAILS & DECKING: AMPA UC3B; ACQ
 - 4.2. STRINGERS, PILE CAPS & OTHER COMPONENTS (EXCEPT PILING): AMPA UC4B; ACQ
 - 4.3. TIMBER PLINGS: AMPA UC5C; ACQ
6. ALL LUMBER SHALL BE MARINE GRADE AND IDENTIFIED BY GRADE AND TREATMENT MARK OF A RECOGNIZED LUMBER GRADING AGENCY OR THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE KILN DRIED AFTER TREATMENT (KDAT).
7. ALL FASTENERS (BOLTS, NAILS, SCREWS OR SPIKES) ARE TO BE 316 STAINLESS STEEL AND SHALL BE COMPATIBLE WITH SELECTED CONNECTORS. DO NOT MIX DISSIMILAR METALS.
8. FRAMING CONNECTORS AND HURRICANE TIES ARE TO BE STAINLESS STEEL.

1. MINIMUM TREAD DEPTH SHALL BE 10 INCHES. TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE PLANES OF THE FOREMOST PROJECT OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN A FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
2. MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES. RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE LEADING EDGES OF ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
3. PROVIDE FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE MINIMUM WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NO LESS THAN THE WIDTH OF THE FLIGHT SERVED. THE MINIMUM LENGTH IN DIRECTION OF TRAVEL SHALL BE NO LESS THAN 4 FEET.
4. CONTINUOUS GUARDRAILS SHALL BE PLACED ALONG ALL UNPROTECTED EDGES OF WALKING SURFACES, FLOORS, STAIRS OR RAMPS LOCATED MORE THAN 30 INCHES ABOVE ADJACENT FLOOR OR GRADE LEVEL.



SCALE: $1/8" = 1'-0"$

NOTE:
1. FIELD LOCATE EXISTING DIMENSIONS. CROSSOVER TO BE INSTALLED APPROXIMATELY IN THE SAME LOCATION AS EXISTING. FIELD VERIFY ALL CONDITIONS AND GRADE ELEVATIONS PRIOR TO ORDERING MATERIAL AND BEGINNING WORK



SCALE: 1/8" = 1'-0"

P.O. BOX 782
BRUNSWICK, GA 3152
(P)912.289.9563
(F)478.743.5640
www.pi-techinc.com



DANIEL WALLACE JR.,
FL LICENSE #103539
GA LICENSE #PE05569

[illegible]

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DUNE CROSSOVER REBUILD
DAYS INN & SUITES
60 S. BEACHVIEW DR.
JEKYLL ISLAND, GA

PROJECT N

SHEET TITLE

DUNE
CROSSOVER
PLANS

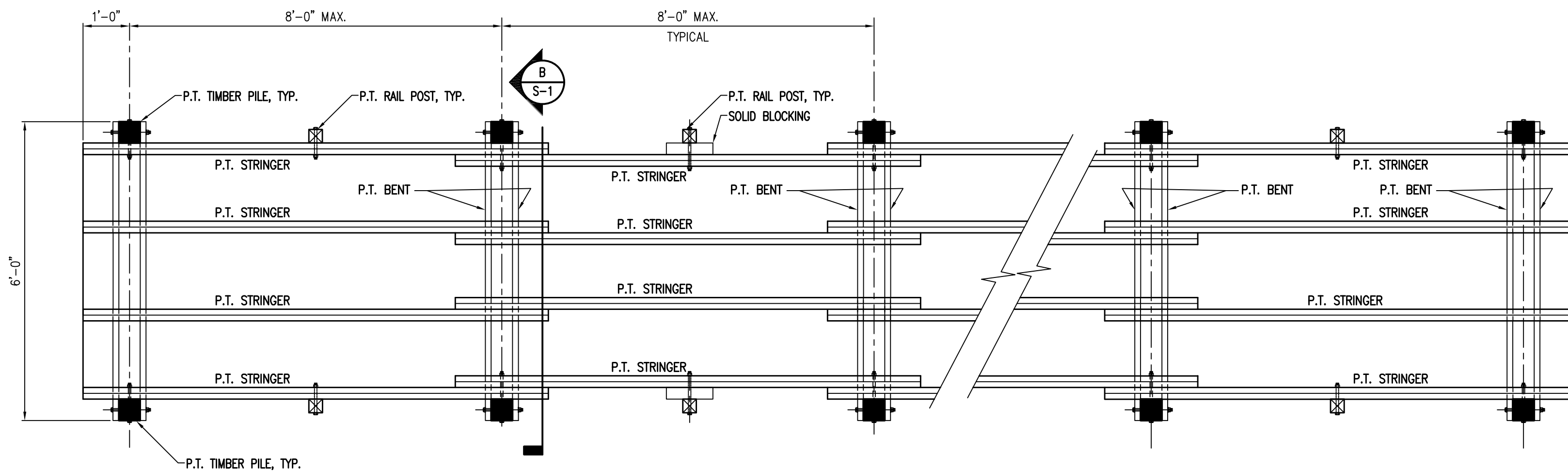
DATE
06/24/2026

DRAWN BY
JDW

CHECKED BY
DESA

SHEET NUMBER

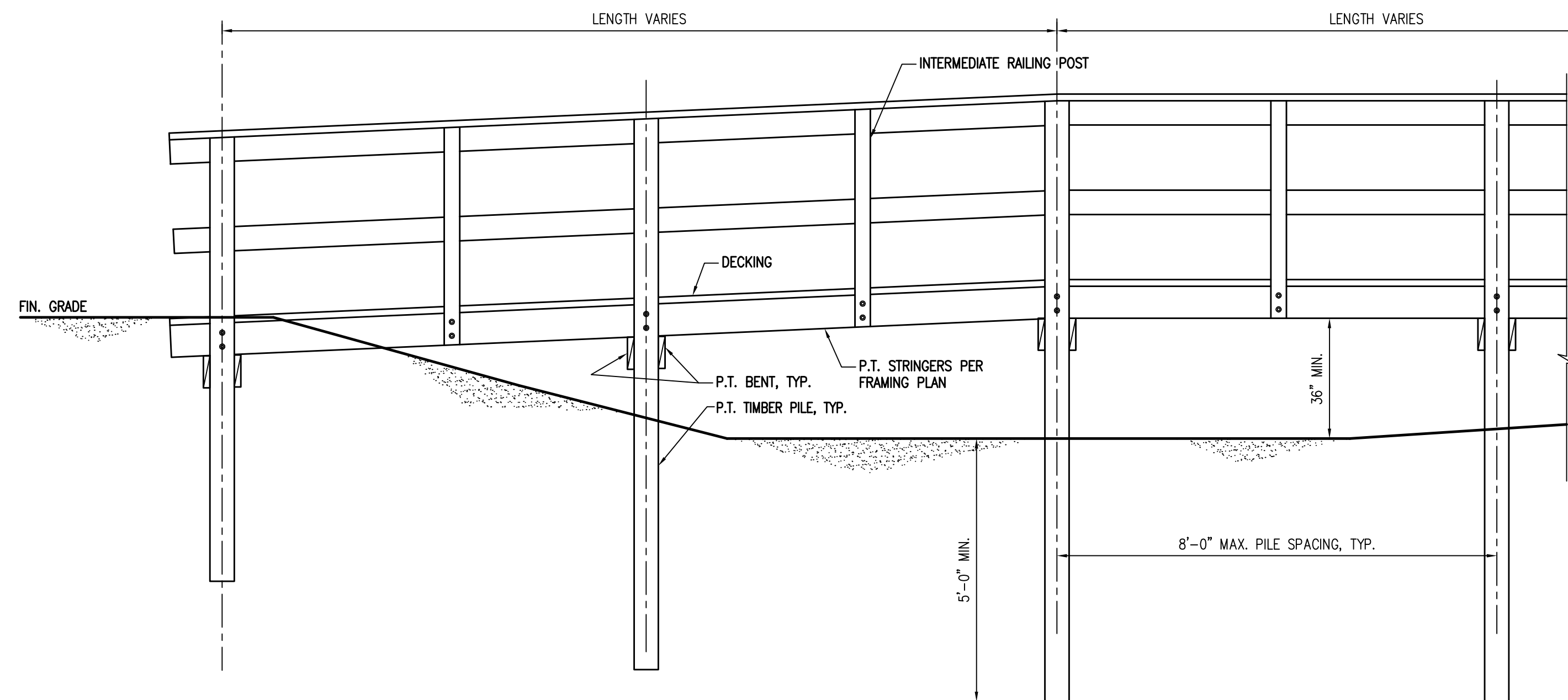
S-1



A
S-2

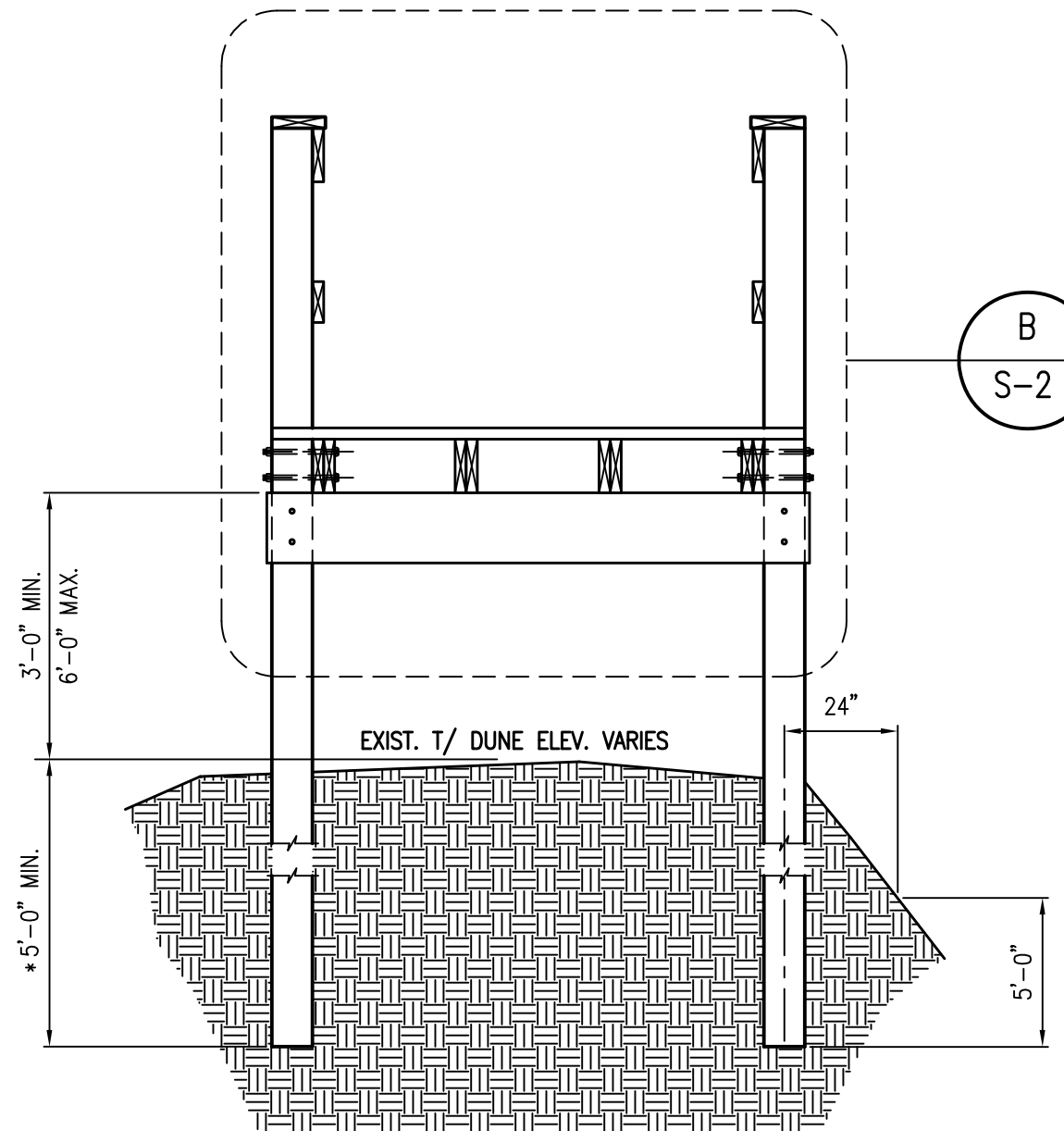
TYPICAL DUNE CROSSOVER FRAMING PLAN

- SCALE: NONE
- NOTES:
- REF. WOOD FRAMING & OTHER NOTES ON S-2 FOR MATERIAL AND OTHER REQUIREMENTS.
 - PILES: P.T. 6x6 SO. YELLOW PINE, #2 OR BETTER.
 - BENTS: P.T. 2x8 SYP#2 EA. SIDE OF PILES
 - STRINGERS ARE TO BE (2)-2x6 SYP#2 EQ. SPACED AS SHOWN ABOVE. AS AN ALTERNATE, THE SAME QUANTITY OF SINGLE 2x6 STRINGERS MAY BE EQUALLY SPACED ACROSS WIDTH OF CROSSOVER.



TYPICAL DUNE CROSSOVER ELEVATION

SCALE: NONE

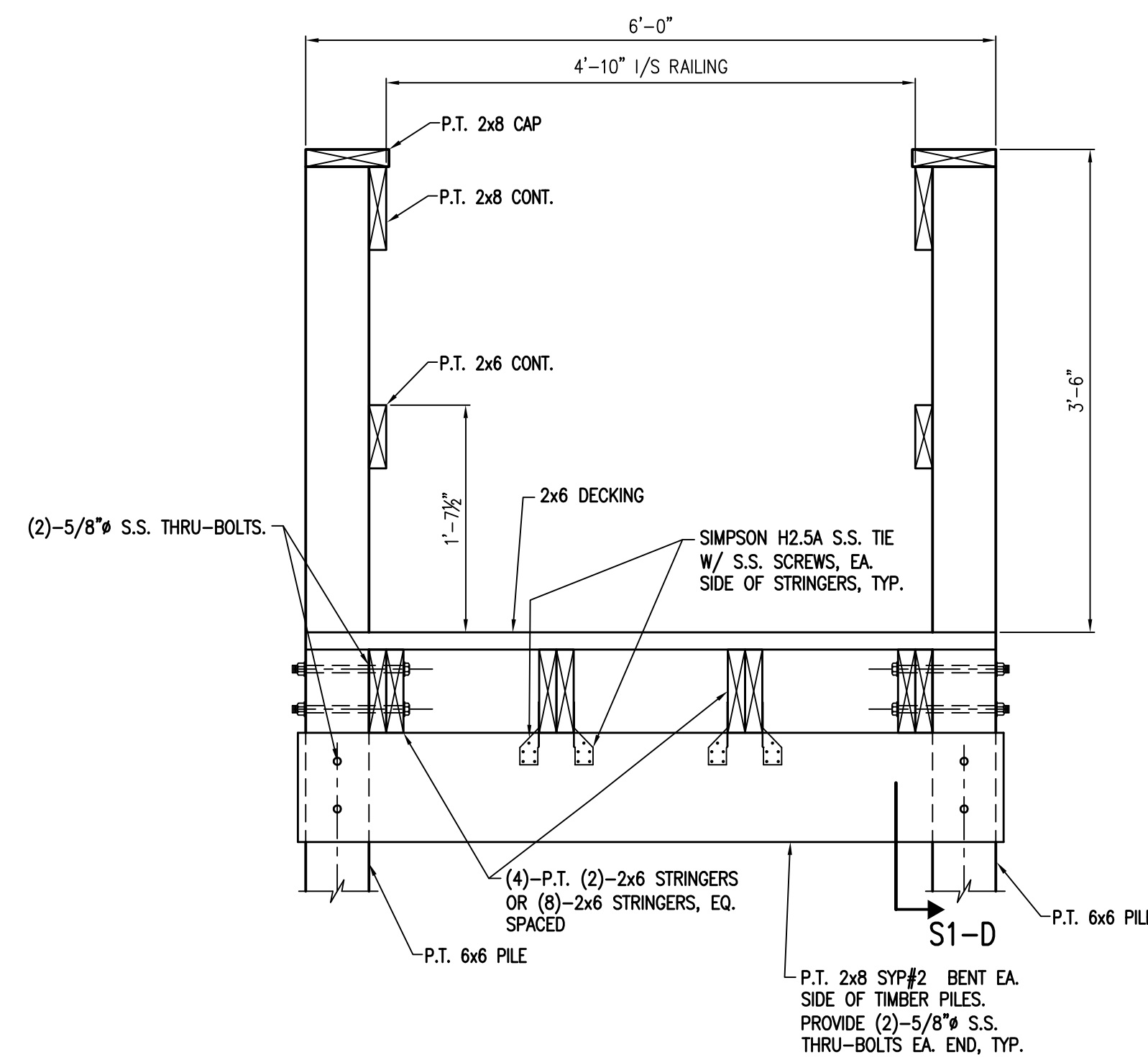


B
S-2

TYPICAL WALKWAY SECTION

SCALE: 1/2" = 1'-0"

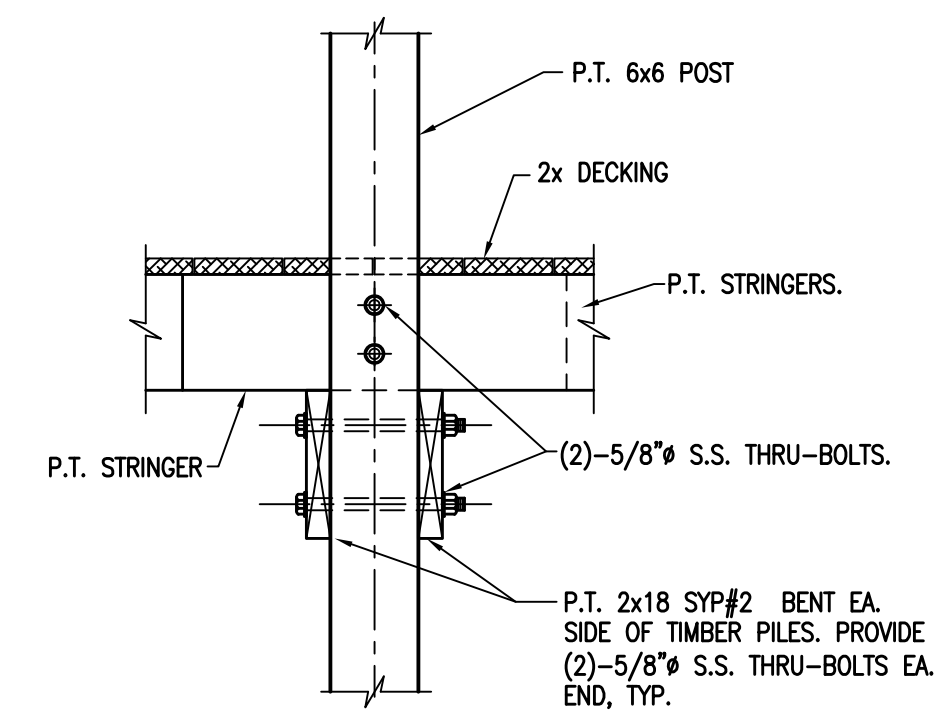
- * NOTE: WHERE WALKWAY HEIGHT ABOVE GRADE IS GREATER THAN 4'-0", BUT LESS THAN 6'-0":
- INCREASE PILE EMBEDMENT DEPTH TO 8'-0"
 - PROVIDE 2x4 CROSS BRACING BETWEEN PILES (PERPENDICULAR TO WALKWAY)



C
S-2

TYPICAL WALKWAY SECTION

SCALE: 1" = 1'-0"



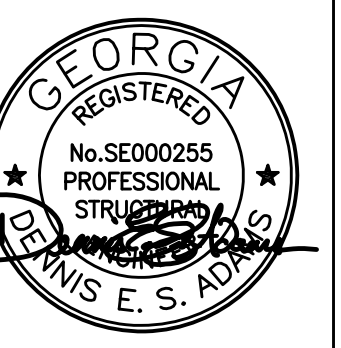
SECTION S1-D

SCALE: 1" = 1'-0"

PI-Tech

PI-TECH, INC.
STRUCTURAL ENGINEERING
CONSULTANTS
CA C.O.A. #PES003000
FL C.O.A. #29606

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FL LICENSE #103539
GA LICENSE #PE055694

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DUNE CROSSOVER REPLACEMENT
DAYS INN & SUITES
60 S. BEACHVIEW DR.
JEKYLL ISLAND, GA

PROJECT NO.

SHEET TITLE

DUNE
CROSSOVER
SECTIONS &
DETAILS

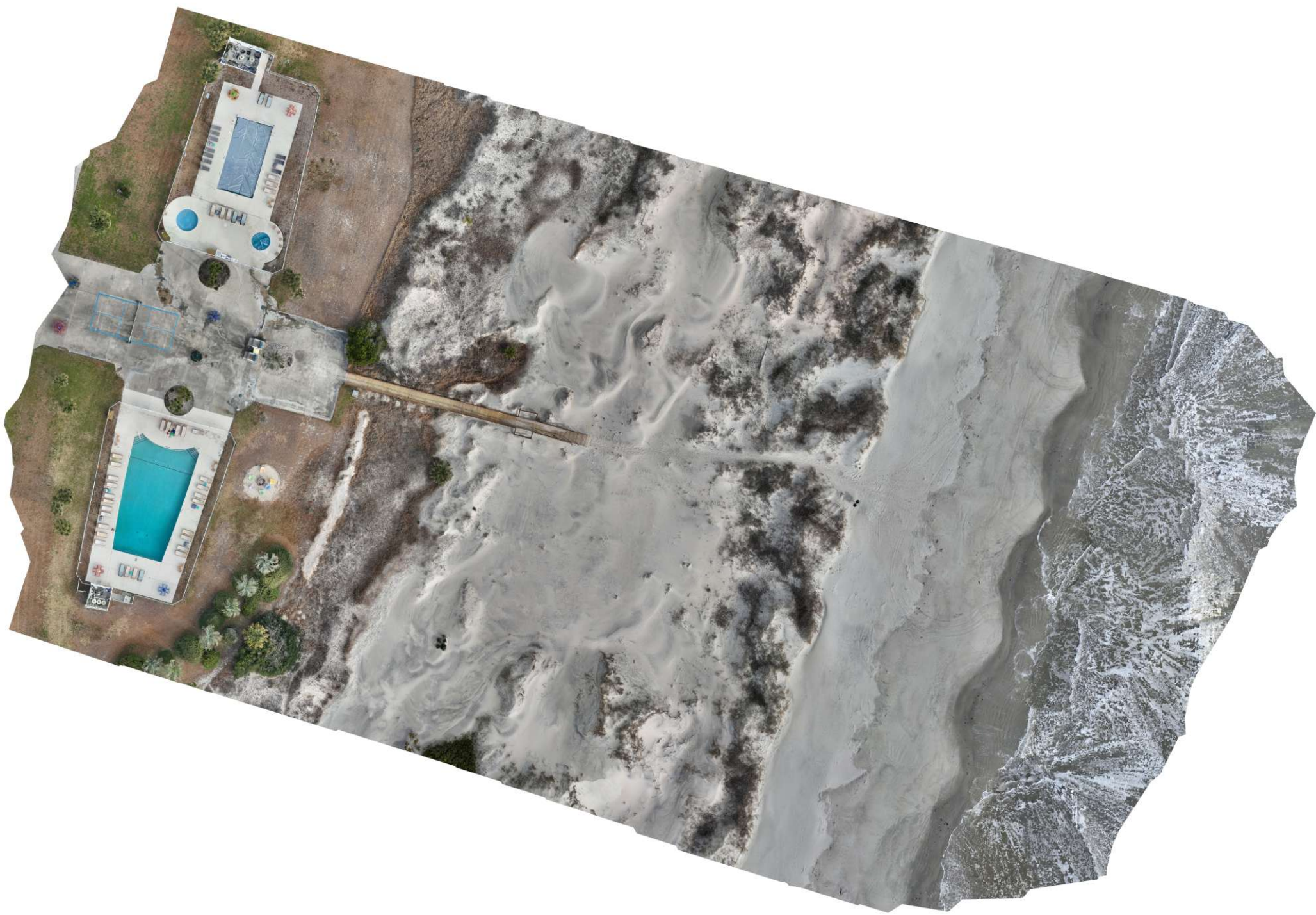
DATE
06/24/2026

DRAWN BY
JDW

CHECKED BY
DESA

SHEET NUMBER

S-2







AT 20 3D



3D View Current

FOURTH AMENDMENT TO LEASE

This FOURTH AMENDMENT TO LEASE (the "Amendment") is made and entered into effective as of Dec 17, 2019 by and between JEKYLL ISLAND-STATE PARK AUTHORITY, a public authority created by the General Assembly of the State of Georgia, (the "Lessor"), and BUDGET MOTELS, INC., a Virginia corporation d/b/a Days Inn & Suites-Jekyll Island (the "Lessee").

RECITALS:

A. Lessee is currently leasing from Lessor approximately 8.56 acres known and designated as Parcel No. 250 situated on Beachview Drive approximately 1,186 feet southeast of the intersection of Beachview Drive with Ben W. Fortson, Jr., Memorial Parkway on Jekyll Island, Glynn County, Georgia, (the "Premises") pursuant to that certain Lease dated December 17, 1979 between Lessor and J. I. Investments, Inc., as amended by First Amendment to Lease dated February 8, 1980, as amended by, and as assigned and assumed by Jekyll Inn & Resort Limited Partnership (f/k/a Jekyll Island Partners, Ltd.) pursuant to the Second Amendment to Lease dated April 13, 1984, and as further amended by, and as assigned to and assumed by Lessee pursuant to the Assignment Agreement and Lease Term Extension and Third Amendment dated March 9, 1998 (collectively, the "Lease").

B. Lessor and Lessee have agreed and desire to amend the Lease to modify the rent set forth in the Lease and modify certain other terms of the Lease as set forth in the Amendment.

In consideration of the premises and promises and agreements contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Lessor and Lessee agree to enter into this Amendment and to its terms and conditions:

1. Amendment.

(a) Article V, Paragraph 5(B) under Rental is hereby deleted in its entirety and replaced with the following:

B. In addition to, and not in lieu of, percentage rental, and commencing as hereinafter provided and continuing thereafter for and in each lease year during and throughout the term of this Lease, Lessee shall pay to Lessor a base rental as set forth in this Lease. Said base rental shall be payable in advance and in equal monthly installments, and shall be due and payable to Lessor on or before the first (1st) day of each month during and throughout each lease year of the term of this Lease;

(b) Paragraph 6.A. of Article V "Rental" is hereby deleted in its entirety and replaced with the following:

A. Six (6) months prior to the expiration of the tenth (10th), twentieth (20th), and thirtieth (30th) lease years of the term of this Lease, Lessor and Lessee shall determine, in the manner set forth in subparagraph B of this paragraph numbered 6, a revised and adjusted base rental which shall be the base rental (if more than

TWENTY-SIX THOUSAND AND EIGHTY DOLLARS [\$26,080.00] per lease year) for each lease year of the next succeeding corresponding ten (10) lease year periods of the term hereof, thereby resulting in a revised and adjusted base rental for each lease year for the eleventh (11th) lease year through and including the twentieth (20th) lease year of the term of the Lease, for each lease year for the twenty-first (21st) lease year through and including the thirtieth (30th) lease year of the term of the Lease and for each lease year for the thirty-first (31st) lease year through and including the fortieth (40th) lease year of the term of the Lease. Commencing January 1, 2020 through and until November 30, 2024, the base rental shall be Two Hundred Seventy-Four Thousand Two Hundred Forty and 32/100 Dollars (\$274,240.32) per year, calculated at \$2,666.67 per acre per month multiplied by 8.56 (based upon the legal description of Exhibit "A"), or \$22,853.36 per month, payable as set forth in this lease; provided however, that the base rental shall be increased or decreased if the Survey (as defined herein) reflects that the actual acreage of the premises is more or less than the 8.56 acres described on Exhibit "A" and this Lease shall be accordingly amended as set forth in Paragraph 90 of this Lease. Commencing December 1, 2024 and on every fifth (5th) anniversary thereof during the term of the Lease, the base rental shall be adjusted as set forth in Paragraph 6 B.

(c) Paragraph 6.B. of Article V "Rental" is hereby deleted in its entirety and replaced with the following:

B. Commencing December 1, 2024 and again on every fifth (5th) anniversary thereof during the term (each an "Adjustment Date"), the base rental provided for in Paragraph 6 A. shall be increased, but in no event ever decreased, by a "Cost of Living Adjustment." Such Cost of Living Adjustment shall be calculated by multiplying the then current amount of the base rental by a fraction, the numerator of which shall be the CPI (defined below) for the month of September prior to the applicable Adjustment Date (a "CPI Month"), and the denominator of which shall be the CPI for the same month that is five (5) years prior to the CPI Month. As used in this Lease, the term "CPI" shall mean the Consumer Price Index for All Urban Consumers, All Items (1982-1984=100), as published by the United States Department of Labor, Bureau of Labor Statistics. Notwithstanding anything herein to the contrary, each such CPI adjustment to Base Rent shall be limited to a minimum of five percent (5%) increase and a maximum increase (for each five (5) year period) of fifteen percent (15.0%). The base rental, as so adjusted on each Adjustment Date, shall be the base rental payable under this Lease until the next succeeding Adjustment Date. If the CPI is no longer published on an Adjustment Date, Lessor shall substitute, in its reasonable business judgment, an index which is published by the United States Bureau of Labor Statistics or similar agency and which is most nearly equivalent to the index described above.

(d) A new Paragraph 6.C. of Article V "Rental" is amended to the Lease as follows:

C. Late Payment Fees. Lessee acknowledges that late payment of Rent will cause Lessor to incur costs not contemplated by this Lease, the exact amount of which will be extremely difficult to ascertain. Accordingly, if any installment of Rent is not received by Lessor on or before the tenth (10th) day after the due date, Lessee shall pay a late charge equal to five percent (5%) of the overdue amount. Notwithstanding the foregoing, if Lessee fails to pay any Rent at the time set forth in this Lease and Lessor has given notice of same either (A) two (2) or more times within the preceding twelve (12) months, or (B) ten (10) or more times during the entire Term of the Lease, then Lessee shall pay a late charge equal to fifteen percent (15%) of the overdue amount for each occurrence in excess of the foregoing limits. Lessee shall also be responsible for a service fee of no less than fifty dollars (\$50.00) for any check returned for insufficient funds together with such other costs and expenses as may be imposed by Lessor's bank. The payment to and acceptance by Lessor of such late charge shall in no event constitute a waiver by Lessor of Lessee's Default with respect to such overdue amounts, nor prevent Lessor from exercising any of the other rights and remedies granted at law or equity or pursuant to this Lease.

(e) A new Paragraph 90 is amended to the end of the Lease as follows:

90. Survey. On or before March 30, 2020, Lessee shall obtain a boundary and topographic survey of the premises from a surveyor licensed in Georgia (the "Survey") at Lessee's sole cost and expense. Within three (3) business days of Lessee's receipt of the Survey, Lessee shall provide a draft of the Survey to Lessor for its reasonable approval. Upon approval of the Survey and provided that the Survey shows a difference more or less than 8.56 acres, the legal description provided therein shall become the new legal description of the premises. At such time, Lessor and Lessee shall enter into an amendment to this Lease amending Exhibit "A" for the new legal description as set forth on the Survey and amending the base rental set forth in Paragraph 6(A) effective the first (1st) day of the calendar month following the approval of the Survey by Lessor.

(f) A new Paragraph 91 is amended to the end of the Lease as follows:

91. Bike Path. Lessor shall construct and install a bike path upon the Premises to connect Lessor's bike paths on the north and south sides of the Premises, provided that: (a) Lessee reasonably approves the location of the bike path upon the Premises, and (b) Lessor has commenced construction of the bike path on the south side of the Premises.

A. Lessor shall be responsible for the construction of the bike path at the cost and expense of Lessee as provided herein. The bike path shall be constructed of the same material and of the same width and design as the bike paths being installed to the north and south of the Premises. Lessor shall submit a design of the bike path to Lessee for Lessee's review and comment. Lessee shall have ten (10) business days to comment upon the plan. Lessor shall take into consideration any reasonable requests of Lessee.

B. Lessee shall reimburse Lessor for its labor and actual, out-of-pocket costs and expenses for the construction and installation of the bike path solely on Lessee's property ("Construction Costs"). Lessor shall provide the copies of the invoices for the Construction Costs to Lessee with the written request for payment. Lessee shall reimburse the Construction Costs to Lessor within ninety (90) days after its receipt of the written request.

C. After construction of the bike path, Lessor shall maintain the bike path, which shall include maintenance of materials and edging of the vegetation adjacent to the bike path.

D. Lessee shall not commit any act or omission that will damage or destroy or block free use of the bike path.

E. Lessor and Lessee shall enter into an Easement Agreement regarding the bike path which shall create in Lessor a non-exclusive and reciprocal easement for pedestrian and bicycle ingress, egress, and access over, through, and across the bike path.

(g) A new Paragraph 92 is amended to the end of the Lease as follows:

92. Waste Management. On or before March 30, 2020 Lessee shall obtain and install separate compactors for trash and recycling in the existing trash containers on the Premises and will remove any existing dumpsters. All outdoor trash and recycling bins will be wildlife-proof to prevent access by raccoons, feral cats, and other animals. Recycling containers will be placed throughout the Premises such that all guests, employees, and agents of Lessee will have reasonable access and ability to recycle.

2. Capitalized Terms; Counterparts. Capitalized terms not defined herein shall have the meaning given to them in the Lease. This Amendment may be executed in two (2) or more counterparts, each of which shall be deemed to be an original.

3. Ratification and Reaffirmation. Except as otherwise expressly provided in this Amendment, the Lease remains in full force and effect unamended, and all of the terms and provisions of the Lease, as modified by this Amendment, are hereby ratified and reaffirmed by Lessor and Lessee. All references to the Lease contained in the Lease shall mean the Lease as modified hereby.

[Signature Page Following]

IN WITNESS WHEREOF, the parties have signed and delivered this Fourth Amendment to Lease Agreement, effective as of the date first written above.

Signed, sealed and delivered this 17th day
of Dec, 2019, in the presence of:

Michele Webb

Unofficial Witness

[Signature]
Notary Public

My Commission Expires: _____

LESSOR:

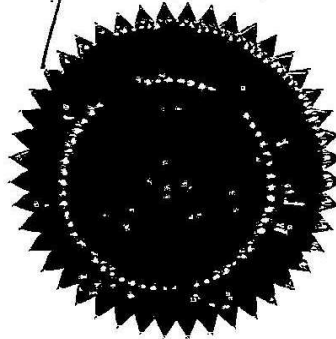
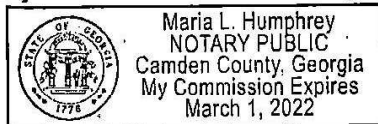
Jekyll Island-State Park Authority, a public
authority, corporation and instrumentality of the
State of Georgia

By: [Signature]
Joseph B. Wilkinson, Jr., Chairman

ATTEST: [Signature]
William H. Gross, Secretary/Treasurer

[NOTARIAL SEAL]

[SEAL]



Signed, sealed and delivered this 11th day
of DECEMBER 2019, in the presence of:

Unofficial Witness : [Signature]

Maurica G. Taylor Rodgers
Notary Public

My Commission Expires: 10/31/2020

LESSEE:

BUDGET MOTELS, INC.

By: [Signature] (SEAL)
Name: John W. Tyler
Title: President

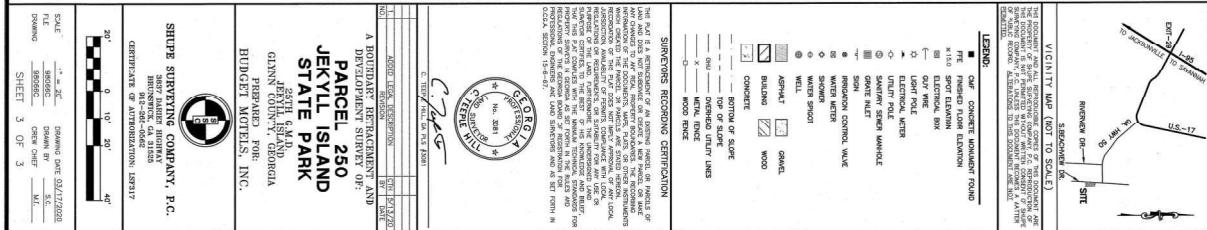
[NOTARIAL SEAL]

Maurica G. Taylor Rodgers
Notary Public
Commonwealth of Virginia
ID# 162034
My Commission Expires 10-31-2020

EXHIBIT A

THAT certain Leasehold Estate created by a Lease ("the lease") from J I Investments, Inc., dated December 17, 1979, as amended by an amendment dated February 8, 1980, being the Lease referred to in that certain Declaration of Lease for recordation dated December 17, 1979, recorded January 7, 1980, in the Clerk's Office Glynn Superior Court, Glynn County, Georgia, in Deed Book 21-Q, Pages 523-525, together with all the rights, powers, privileges and options of the Lessee thereunder and improvements and all fixtures ("the Leasehold Estate") in and to all of the following described real property, to-wit:

ALL that tract of land situated on Jekyll Inland in Glynn County, Georgia, designated as Parcel No. 250, containing 8.56 acres, and being shown on that certain September 7, 1977, plat of survey prepared by James L. Conine, Georgia Registered Land Surveyor Number 1545, and entitled PLAT OF SURVEY, SHOWING PARCEL NO. 250, THE LOCATION OF THE EXISTING CONSTRUCTED IMPROVEMENTS LOCATED THEREON, AND THE UTILITIES THAT SERVE THE SAME, and being more particularly described, as follows: TO FIND THE POINT OF BEGINNING, commence at the point of intersection of the centerline of Georgia Highway 50 with the centerline of Beachview Drive; thence south $14^{\circ} 32' 45''$ East a distance of 1,186.60 feet to a concrete monument located on the Eastern right-of-way line of South Beachview Drive, which concrete monument marks the POINT OF BEGINNING; thence run South $73^{\circ} 59' 30''$ East a distance of 300.00 feet to a concrete monument; thence run South $15^{\circ} 20' 00''$ West a distance of 1,097.99 feet to a concrete monument; thence run North $73^{\circ} 59' 30''$ West a distance of 377.00 feet to a concrete monument on said Eastern right-of-way line of South Beachview Drive; thence run North $18^{\circ} 33' 30''$ East along said Eastern right-of-way line of South Beachview Drive a chord distance of 209.78 feet to a concrete monument; run thence North $19^{\circ} 32' 00''$ East a distance of 890.00 feet along said Eastern right-of-way line of South Beachview Drive to a concrete monument which marks the POINT OF BEGINNING.



Oct 2, 2025 at 9:09:15 AM
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