

1.0 INTRODUCTION & BACKGROUND:

Ms. Elizabeth Clarke Peeples is applying for a Coastal Marshlands Permit to facilitate maintenance of an existing bulkhead along 375 linear feet of existing rip-rap bulkhead adjacent to the Herb River at 5 Sylvan Island, Chatham County, Georgia (32.007576°, -81.051883°).

The existing bulkhead was installed in the 1970's. While maintenance of the bulkhead has occurred on occasion, erosion has continued to occur along the bank behind the rip-rap. The proposed project will include repair of the structure through removal of the existing rip-rap, regrading and sloping of the existing bank landward, installation of filter fabric to prevent future bank erosion behind the rip-rap, and installation of new rip-rap.

2.0 PROJECT PURPOSE:

The purpose of the project is to perform maintenance to an existing rip-rap bulkhead.

3.0 PROPOSED PROJECT:

The existing structure contains an estimated 3,070 square feet/115 cubic yards of rip-rap (approximately 36 cubic yards below mean high water). The new structure will contain 7,475 square feet/315 cy rip-rap (approximately 0.07 acres (3,027 square feet)/218 cubic yards below mean high water). No work will occur along the bank below mean low water and all the proposed structure is located above mean low water.

3.1 Marshlands Component:

The marshlands component of the project is defined as the part of the project in an estuarine area or any structure on or over an estuarine area, including but not limited to marinas, community docks, bridges, piers and bulkheads requiring a permit under the Coastal Marshlands Protection Act. The marshlands component of the project is the portion of the bulkhead located within coastal marshlands.

3.2 Upland Component:

The upland component of the project is defined as all those service areas, amenities and recreational areas located inland of the Coastal Marshlands Protection Act jurisdiction line, that serve or augment the functioning of the marshlands component of the project such as but not limited to dry stack boat storage, dock master shop, fuel storage and delivery facilities to serve the marshlands component of the project. The upland component is the portion of the bulkhead within non-marshland and the adjacent residential yard.

3.3 Stormwater Management:

The proposed project does not include site development activities and development of a stormwater management plan is not required. The proposed path will be 100% pervious. The project will implement standard BMP's during the construction phase for sedimentation and erosion control purposes and to protect adjacent tidal waters and marsh.

3.4 GADNR-EPD 401 Water Quality Certification (WQC): The proposed project does not include any activities during construction or facilities post construction (i.e. fueling) that require a WQC.

4.0 ALTERNATIVES ANALYSIS AND MINIMIZATION:

The proposed project includes maintenance of an existing bulkhead and the project design limits disturbance to the minimum required to perform the maintenance activity.

5.0 ESSENTIAL FISH HABITAT:

The proposed project includes maintenance of an existing bulkhead and the project area contains essential fish habitat. However, due to the scope and minimal impacts associated with the maintenance activities, the project will not

adversely affect essential fish habitat.

6.0 THREATENED AND ENDANGERED SPECIES:

Coordination with US Fish and Wildlife Service's (USFWS) Information for Planning and Consultation (IPaC) was conducted to assess potential impacts to federally protected species on the project site. The results of this consultation, the Official Species List, is attached to this document. In addition to the database query, a pedestrian survey was conducted on-site and no federally listed species were observed. The following provides a brief description of each species listed a threatened or endangered.

West Indian Manatee (*Trichechus manatus*)

The West Indian manatee is a large aquatic mammal whose habitat consists of warm coastal and spring fed waters. It is listed as endangered under both its state and federal status. They are large, gray aquatic mammals with bodies that taper to a flat, paddle-shaped tail. They have two forelimbs, called flippers, with three to four nails on each flipper. Their head and face are wrinkled with whiskers on the snout. During winter months these mammals are primarily confined to the coastal waters of the southern half of Florida and the spring fed rivers of Florida and Georgia. During the summer months as the water temperature rises, the manatees' range expands as far north as Virginia and it is during these months that the "manatees" may occasionally utilize the estuaries of coastal Georgia. Critical habitat for this species has been identified as large portions of coastal Florida including the St. Mary's River.

The project site does tidal waters habitat which could support the manatee. However, the project includes maintenance of an existing rip-rap bulkhead on a residential property. For this reason, the proposed project will not adversely affect the West Indian Manatee.

Eastern Black Rail (*Laterallus jamaicensis ssp. Jamaicensis*)

The Eastern black rail is a small bird living in salt and freshwater marshes in portions of the United States, Central America, and South America. Males and females are similar in size and adults are generally pale to blackish-gray, with a small blackish bill and bright red eyes. Eastern black rail habitat can be tidally or non-tidally influenced, and range in salinity from salt to brackish to fresh. Tidal height and volume vary greatly between the Atlantic and Gulf coasts and therefore contribute to differences in salt marsh cover plants in the bird's habitat. Diet includes Insects, snails, seeds, etc. Loss of habitat is the main threat to this species however where habitat is projected numbers are likely stable.

The area consists of a maintained yard and rip-rap along the edge of the river. Habitat required to support this species is not present and the project will have no effect on the black rail.

Piping Plover (*Charadrius melodus*)

The piping plover is a small sand-colored, sparrow-sized shorebird that nests and feeds along coastal sand and gravel beaches in North America. It is listed as threatened for both its federal and state status. The adult has yellow-orange legs, a black band across the forehead from eye to eye, and a black ring around the neck. The piping plover forages and nests on sandy beaches on the Atlantic Coast from South Carolina to the north shore of the Gulf of St. Lawrence, on sandy shores of the Great Lakes, and on alkaline wetlands and prairie river sandbars of the Northern Great Plains. Sparse clumps of grass or herbaceous vegetation are important habitat components. They feed on invertebrates found in the sand including insects, crustaceans, and mollusks.

The project area does not contain sandy beach habitat. Due to the lack of suitable habitat, the project will have no effect on this species.

Red Knot (*Caldiris canutus rufa*)

The red knot is a state and federally listed threatened species. This bird is a medium-sized shorebird about 23-25 cm (9-10 in) long and weighing about 135 g. In breeding, plumage it is easily distinguished from all other sandpipers seen in the state with a brick red to reddish-orange head, neck, breast, and abdomen and medium gray back with some reddish color mixed in. The black bill is straight with a relatively stout base that tapers to a relative fine tip. Legs are

usually dark gray to black, but can be greenish in color in some adults in nonbreeding plumage as well as in some juvenile birds. Wings are medium to dark gray on top with some white at the base of the primary and secondary feathers that forms a thin white stripe from the shoulder to the tip. The undersides of the wings are light to medium gray with darker gray tips. The reddish-orange color on the head, neck, and upper breast is replaced by gray on adults in nonbreeding plumage. The reddish-orange of the lower breast and abdomen is replaced by white with dark gray barring on the flanks. A thin white stripe can be seen above the eye of adults. This stripe is broader and more defined in juvenile birds. Feathers on the backs of juveniles have a scaly pattern due to black and white edges that contrast with the gray feathers.

In the Western Hemisphere, the red knot breeds in the mid to high arctic tundra of Alaska, Canada, and Greenland. Most breeding habitats are near coastal areas, often on islands. Nest sites are generally on dry, sunny, and slightly elevated areas of tundra, frequently on open gravel ridges or slopes. During migration this species switches to coastal beaches usually at or near the mouth of bays, estuaries, or tidal inlets. Staging sites are associated with high wave-energy coastal areas. Wintering sites are generally intertidal habitats such as beaches with significant wave action or currents. Knots can be found on any Georgia barrier beach, but Little Tybee, Wassaw, St. Catherine's, Blackbeard, Sapelo, Little St. Simons, and Cumberland Islands, as well as St. Catherine's Island Bar are the locations most often used in the winter and spring, while Wolf Island, Little Egg Island Bar, and Little St. Simons Island at the mouth of the Altamaha River support the only known late summer and fall staging site on the east coast of the U.S.

The area consists of a maintained yard and rip-rap along the edge of the river. Habitat required to support this species is not present and the project will have no effect on the red knot.

Wood Stork (*Mycteria americana*)

The wood stork was listed endangered by the USFWS on 28 February 1984 (Federal Register 49 (4):7332-7335). It is listed as endangered under both its state and federal status. Wood storks use freshwater and estuarine wetlands as feeding, nesting, and roosting sites, and annual population fluctuations are closely related to the year-to-year differences in the quality and quantity of suitable habitat. The overall decline in wood stork numbers is attributed to the loss or degradation of essential wetland habitat primarily in southern Florida. The adult is a large bird 33-45 inches tall and 58-71 inches in wingspan. Males typically weigh 5.5-7.3 lbs; females weigh 4.4-6.2 lbs. They appear all white on the ground, with blackish-gray legs and pink feet. In flight, the trailing edge of the wings is black. The head is dark brown with a bald, black face, and the thick down curved bill is dusky yellow. Juvenile birds are a duller version of the adult, generally browner on the neck, and with a paler bill. They nest colonially with up to twenty-five nests in one tree. Breeding once a year, a female lays 3-5 eggs in the typical clutch. The eggs are incubated 27-32 days by both sexes.

No forested or non-forested area suitable for wood stork nesting, feeding or roosting is present within the project area; therefore, the maintenance project will have no effect on the wood stork.

Eastern Indigo Snake (*Drymarchon corais couperi*)

The Eastern indigo snake is a large nonpoisonous, stout bodied snake averaging six to seven feet in length. The snake is smooth scaled and uniform glossy blue-black throughout its body except for some reddish orange or cream color suffusion on its throat, cheeks and chin. This coloration varies with some individuals having distinct coloration and others with no coloration. In the extreme southern reaches of its range (South Florida), the snake is less restricted and inhabits flatwoods, tropical hammocks, dry glades and moist bogs. In this region of its range, overwintering sites include tree stumps and other underground dens. In the northern portion of its range, including south Alabama, the indigo snake requires deep sand ridges and is often associated with the gopher tortoise. The indigo snake is dependent upon the deep burrows dug by the gopher tortoise and uses them as a refuge from the extreme hot and cold temperatures. This restricted habitat is even more isolated by the snakes' preference for the interspersed wet lowlands and cypress ponds.

Habitat required to support this species is not present within the project area and the proposed project will have no effect on the eastern indigo snake.

Green Sea Turtle (*Chelonia mydas*), Hawksbill Sea Turtle (*Eretmochelys imbricata*), Kemp's Ridley Sea Turtle (*Lepidochelys kempii*), Leatherback Sea Turtle (*Dermochelys coriacea*), Loggerhead Sea Turtle (*Caretta caretta*)

These large marine turtles inhabit the offshore waters of the Atlantic and Caribbean. During nesting periods which fall within the summer months, these species leave the water to nest on sandy beaches and primary dunes of the Atlantic and Caribbean coasts. Turtle nests are not uncommon on the barrier islands of Georgia and have been located in the past.

The area consists of a maintained yard and rip-rap along the edge of the river. Habitat required to support the sea turtle species is not present and the project will have no effect on any of the listed sea turtles.

Frosted Flatwoods Salamander (*Ambystoma cingulatum*)

The frosted flatwoods salamander is listed as threatened for both its federal and state status. The frosted flatwoods salamander is black to dark brown and typically patterned with light gray or white flecked lines, forming a frosted pattern on the back, sides, head, and tail. "Frosted" forms show a more random flecking pattern. The underside is dark gray or black with small, scattered white or light gray spots. The head is relatively small, and the tail is quite fat. Adults are typically 4.5-6 inches in total length. The broad-headed, bushy-gilled larva is very distinct with a prominent tan or beige stripe running the length of the otherwise chocolate-brown body. The larva also has a dark brown stripe through each eye, extending from the nostril to the gills.

This salamander is endemic to mesic flatwoods habitats within the vanishing longleaf pine-wiregrass community. Slash pine was incorrectly reported in early species accounts as a commonly associated tree species within its non-breeding habitat. Nearly all frosted flatwoods salamander sites currently dominated by slash pine have been converted from historic longleaf pine stands. Pine flatwoods are fire-dependent communities, requiring periodic burns to promote grasses and forbs, while limiting shrubs and hardwoods. Breeding sites are typically shallow, ephemeral cypress and/or swamp tupelo ponds or "domes," although flooded borrow pits, roadside ditches, and deep firebreaks are occasionally used. Breeding sites are also dependent on periodic dry season fires, which maintain an open canopy conducive to the luxuriant growth of emergent and submerged grasses, sedges, and forbs necessary for sheltering the aquatic larvae.

The area consists of a maintained yard and rip-rap along the edge of the river. Habitat required to support this species is not present and the project will have no effect on the flatwoods salamander.

Pondberry/Pond Spicebush (*Lindera melissifolia*)

Pondberry is state and federally listed as endangered. Shrub up to 6 feet (2 meters) tall, forming dense colonies of green or brown stems with yellowish bases. Leaves 2 - 6 inches (5 - 16 cm) long, drooping, deciduous, alternate, widest at or below the middle, with a rounded base and sharply pointed tip; both surfaces of the leaf with conspicuous netted veins and short, soft hairs; leaves smell spicy (like sassafras) when crushed. Male and female flowers on separate plants, appearing before leaves, borne in clusters of 2 - 6 flowers, each with 6 pale yellow, petal-like tepals. Fruit about ½ inch (1 - 1.2 cm) long, bright red, oval to round, on a stout stalk about ½ inch (0.9 - 1.2 cm) long with a blunt tip. The stalk persists through the winter following fruiting. Pondberry occur in shallow depression ponds within wetlands, along margins of cypress ponds, and in forested floodplain areas in the southeastern United States.

The area consists of a maintained yard and rip-rap along the edge of the river. Habitat required to support this species is not present and the project will have no effect on the pondberry.

7.0 COMMERCIAL BAIT SHRIMP, OYSTER, AND CRABBING AREAS

The proposed project is not located in a designated bait shrimp zone according to Georgia Department of Natural Resources *Commercial and Recreational Bait Shrimp Zones, Coastal Georgia* map. The project area is not listed on the *Georgia Harvester Reported Crabbing Areas* list, and the project area is not located in designated commercial or recreational oyster harvest areas.

8.0 IMPAIRED WATERS

The subject waterway is not listed on the U.S. Environmental Protection Agency 303(d) list for impaired water bodies.

9.0 SUPPLEMENTAL INFORMATION

This additional information is provided for compliance with Coastal Marshlands Protection Act of 1970 information requirements:

OCGA 12-5-286. Permits to fill, drain, etc., marshlands.

(b) Each application for such permit shall be, properly executed, filed with the department on forms as prescribed by the department, and shall include:

- (1) *The name and address of the applicant-***
See attached application form
- (2) *A plan or drawing showing the applicant's proposal and the manner or method by which such proposal shall be accomplished. Such plan shall identify the coastal marshlands affected-*** Please refer to attached permit drawings.
- (3) *A plat of the area in which the proposed work will take place-*** See attached.
- (4) *A copy of the deed or other instrument under which the applicant claims title to the property or, if the applicant is not the owner, then a copy of the deed or other instrument under which the owner claims title together with written permission from the owner to carry out the project on his land. In lieu of a deed or other instrument referred to in this paragraph, the committee may accept some other reasonable evidence of ownership of the property in question or other lawful authority to make use of the property; The committee will not adjudicate title disputes concerning the property which is the subject of the application; provided, however, the committee may decline to process an application when submitted documents show conflicting deeds-*** See attached.
- (5) *A list of all adjoining landowners together with such owners' addresses, provided that if the names or addresses of adjoining landowners cannot be determined, the applicant shall file in lieu thereof a sworn affidavit that a diligent search, including, without limitation, a search of the records for the county tax assessor's office, has been made but that the applicant was not able to ascertain the names or addresses, as the case may be, of adjoining landowners-*** See attached.
- (6) *A letter from the local governing authority of the political subdivision in which the property is located, stating that the applicant's proposal is not in violation of any zoning law; A request has been submitted to the Chatham County and a copy of that request is included in this package. The response from Chatham County will be provided upon receipt.***
- (7) *A non-refundable application fee to be set by the board in an amount necessary to defray the administrative cost of issuing such permit. Renewal fees shall be equal to application fees, which shall not exceed \$1,000.00 for any one proposal and shall be paid to the department.*** The application fee is attached.
- (8) *A description from the applicant of alternative sites and why they are not feasible and a discussion of why the permit should be granted-*** Addressed above.
- (9) *A statement from the applicant that he has made inquiry to the appropriate authorities that***

the proposed project is not over a landfill or hazardous waste site and that the site is otherwise suitable for the proposed project- A review of the Hazardous Site Index for Chatham County, Georgia indicates that the subject property does not contain hazardous waste sites or landfills. A copy is attached.

(10) A copy of the water quality certification issued by the department if required for the proposed project- Not applicable.

(11) Certification by the applicant of adherence to soil and erosion control responsibilities if required for the proposed project- The project will conform to all building, land disturbing, and stormwater management requirements of Chatham County.

(12) Such additional information as is required by the committee to properly evaluate the application- This application has been prepared with consideration for the interests of the general public of the State of Georgia as defined in OCGA 12-5-286(g):

OCGA 12-5-286. Permits to fill, drain, etc. marshlands.

(g) In passing upon the application for permit, the committee shall consider the public interest, which, for purposes of this part shall be deemed to be the following considerations:

- (1) Whether or not unreasonably harmful obstruction to or alteration of the natural flow of navigational water within the affected area will arise as a result of the proposal-*** The proposed project will not alter natural flow of navigable waters or obstruct public navigation.
- (2) Whether or not unreasonably harmful or increased erosion shoaling of channels, or stagnant areas of water will be created-*** The proposed project will not increase erosion, shoaling of channels, or create stagnant areas of water.
- (3) Whether or not the granting of a permit and the completion of the applicant's proposal will unreasonably interfere with the conservation of fish, shrimp, oysters, crabs, clams, or other marine life, or wildlife, or other resources, including but not limited to water and oxygen supply-*** The proposed project will not interfere with the conservation of fish, shrimp, oysters, crabs, clams, or other marine life, wildlife, or other resources, nor affect water and oxygen supply.



7 August 2023

Georgia Department of Natural Resources
Coastal Resources Division
Attn: Mr. Josh Noble
One Conservation Way
Brunswick, Georgia 31520-8687

**RE: CMPA Authorization Request
 5 Sylvan Island Road Bulkhead Maintenance
 Chatham County, Georgia**

RLC#: 22-036

Dear Mr. Noble:

In the letter dated 3 August 2023, you requested additional information required to continue review and processing of the subject Coastal Marshlands Protection Act application submitted in November 2022. The following includes a copy of each comment provided in your letter and a response to each comment in the order outlined.

Comment 1: *The plan drawings indicate there is 115 cubic yards of existing riprap, which will be excavated. The plan drawings then indicate that 315 cubic yards of new riprap will be installed, resulting in 332 cubic yards of riprap in CMPA jurisdiction. Please clarify where the additional 17 cubic yards of riprap will be placed.*

Response: 315 cubic yards of riprap will be reinstalled in CMPA jurisdiction, and the remaining 17 cubic yards of riprap will be reinstalled above the CMPA jurisdiction line.

Comment 2: *The plan drawings indicate that the PIN for the location where the proposed work will take place is 10271 01004. Online property records show the PIN for this location as 10270 01004. Also, the deed speaks to the property as being composed of Parcels 1-4 while the plat depicts the property as Estate Site Number 5, Tract E, and Tract E-1. Please clarify the PIN and Parcel Number(s) where the proposed work will take place. If there is a survey or other document which depicts the boundaries of Parcels 1-4, please provide it to the Department.*

Response: See attached revised drawings with the correct PIN. The correct PIN is 10270 01004. The work will take place on Estate Site Number 5 and Tract E-1. The applicant does not have a survey or other document which depicts the boundary of Parcels 1-4. See attached surveys. These are all the surveys the applicant has.

Comment 3: *The Revocable License Request Form only listed Elizabeth Clarke Peebles as the applicant. The ownership documents suggest that the property is owned 50% by Elizabeth Clarke Peebles and 50% by Elizabeth Clarke Peebles, Trustee of the Elizabeth Clarke Peebles QTIP Trust UAD April 61\ 2009. Also, the lot/block/subdivision line is not completed. Please add Elizabeth Clarke Peebles QTIP Trust UAD April 61h, 2009 to the applicant line and the appropriate Pin and Parcel Number(s) to the Revocable License Request Form.*

Response: See attached revised revocable license request form.

Comment 4: *A description and depiction of the upland component of the project including the 50ft. marshlands buffer as measured horizontally inland from the CMPA line.*

Response: The upland component of the project is defined as “all those service areas, amenities and recreational areas located inland of the Coastal Marshlands Protection Act jurisdiction line, that serve or augment the functioning of the marshlands component of the project such as but not limited to dry stack boat storage, dock master shop, fuel storage and delivery facilities to serve the marshlands component of the project”. The proposed project does not include “service areas, amenities and recreational areas located inland of the Coastal Marshlands Protection Act jurisdiction line, that serve or augment the functioning of the marshlands component of the project such as but not limited to dry stack boat storage, dock master shop, fuel storage and delivery facilities to serve the marshlands component of the project”. The existing structure includes 0.05 acre (2,477 sf) of riprap below the CMPA line and 0.02 acre (914 sf) of riprap above the CMPA jurisdiction line within upland. The proposed structure will include 0.016 acre (5,710 sf) of riprap below the CMPA line and 0.04 acre (1,762 sf) of riprap above the CMPA jurisdiction line within upland. In total, the project will include installation of an additional 0.07 acre (3,233 sf) of riprap below the CMPA

jurisdiction line and 0.019 acre (848 sf) above the CMPA jurisdiction line. While the proposed 0.04 acre (1,762 sf) of riprap above the CMPA jurisdiction line is part of the marshland's component structure, this part of the structure will be located within upland.

Comment 5: *Description and identification on site plan of any temporary structures proposed within the delineated buffer that are necessary for the construction of the marshlands component of the project.*

Response: There are no temporary structures proposed within the buffer.

Comment 6: *Description and identification on site plan of any permanent structures proposed within the delineated buffer that are necessary for the function of the marshlands component of the project.*

Response: As noted above, the proposed structure will include 0.016 acre (5,710 sf) of riprap below the CMPA line and 0.04 acre (1,762 sf) of riprap above the CMPA jurisdiction line within upland. In total, the project will include installation of an additional 0.07 acre (3,233 sf) of riprap below the CMPA jurisdiction line and 0.019 acre (848 sf) above the CMPA jurisdiction line. While the proposed 0.04 acre (1,762 sf) of riprap above the CMPA jurisdiction line is part of the marshland's component structure, this part of the structure will be located within upland. No other permanent structures are proposed within the buffer.

Comment 7: *Description and identification on site plan of any vegetated plantings or grading of vegetation within the delineated buffer.*

Response: The project area contains a grassed lawn. See attached photographs. Following removal of the existing riprap, the maintenance project will include minor grading/sloping of the bank to allow installation of filter fabric prior to reinstalling the riprap.

Comment 8: *Description including dimensions and identification on the site plan of any existing impervious surfaces or structures pre-existing within the delineated buffer.*

Response: There are no impervious surfaces existing or proposed within the buffer. See attached photographs.

We greatly appreciate your assistance with this project. If you have any questions or require additional information, please do not hesitate to contact us at (912) 443-5896.

Sincerely,



Alton Brown, Jr.
Principal
Resource & Land Consultants

Enclosures

cc: Mr. Frank Peeples, Jr.
Ms. Jen Hayes – Thomas & Hutton

STATE OF GEORGIA

REQUEST FOR A REVOCABLE LICENSE FOR THE USE OF TIDAL WATERBOTTOMS

Elizabeth Clarke Peeples & Elizabeth Clarke Peeples, Trustee of the Elizabeth
Clarke Peeples QTIP Trust UAD
APPLICANT NAME(S):
MAILING ADDRESS: 5 SYLVAN ISLAND ROAD, SAVANNAH, GA 31404
(Street) (City) (State) (Zip)
PROJECT ADDRESS/LOCATION: 5 SYLVAN ISLAND ROAD, SAVANNAH, GA 31404
COUNTY: CHATHAM WATERWAY: HERB RIVER
Parcel 10270 01004 Estate Site Number 5 and Tract E-1
LOT, BLOCK & SUBDIVISION NAME FROM DEED:

Georgia Department of Natural Resources
Coastal Resources Division
One Conservation Way
Brunswick, Georgia 31520-8687

I am requesting that I be granted a revocable license from the State of Georgia to encroach on the beds of tidewaters, which are state owned property. Attached hereto and made a part of this request is a copy of the plans and description of the project that will be the subject of such a license. I certify that all information submitted is true and correct to the best of my knowledge and understand that willful misrepresentation or falsification is punishable by law.

I understand that if permission from the State is granted, it will be a revocable license and will not constitute a license coupled with an interest. I acknowledge that this revocable license does not resolve any actual or potential disputes regarding the ownership of, or rights in, or over the property upon which the subject project is proposed, and shall not be construed as recognizing or denying any such rights or interests. I acknowledge that such a license would relate only to the property interests of the State and would not obviate the necessity of obtaining any other State license, permit, or authorization required by State law. I recognize that I waive my right of expectation of privacy and I do not have the permission of the State of Georgia to proceed with such project until the Commissioner of DNR or his/her designee has executed a revocable license in accordance with this request.

Sincerely,

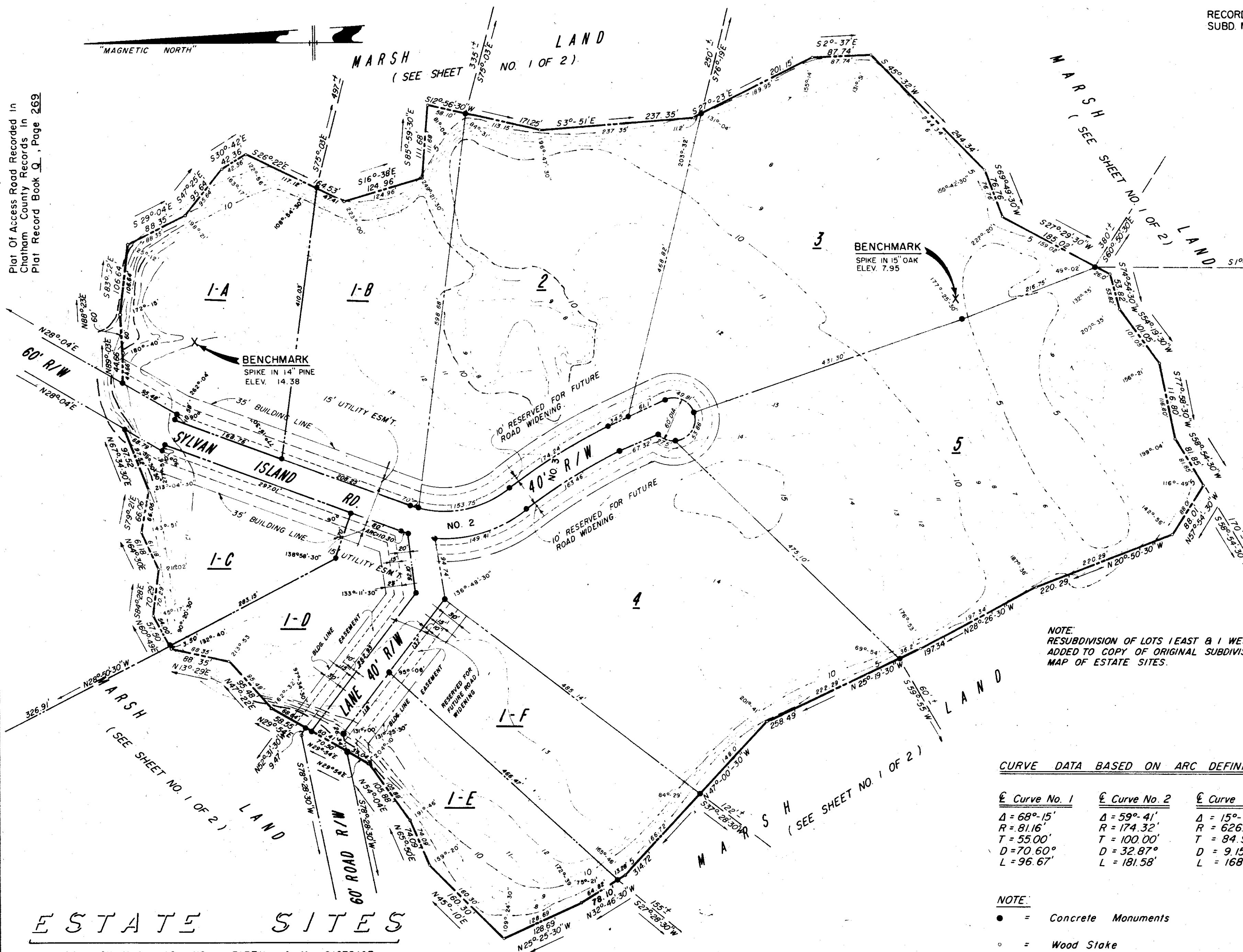
By: Elizabeth C. Peeples Date: 8/4/2023
Signature of Applicant

Title, if applicable
By: Elizabeth C. Peeples Date: 8/4/2023
Signature of Applicant

Trustee
Title, if applicable

Attachments

Plat of Access Road Recorded in
Chatham County Records in
Plat Record Book Q, Page 269



NOTE:
RESUBDIVISION OF LOTS 1 EAST & 1 WEST
ADDED TO COPY OF ORIGINAL SUBDIVISION
MAP OF ESTATE SITES.

CURVE DATA BASED ON ARC DEFINITION

<u>Curve No. 1</u>	<u>Curve No. 2</u>	<u>Curve No. 3</u>
$\Delta = 68^{\circ}15'$	$\Delta = 59^{\circ}41'$	$\Delta = 15^{\circ}27'$
$R = 81.16'$	$R = 174.32'$	$R = 626.17'$
$T = 55.00'$	$T = 100.00'$	$T = 84.94'$
$D = 70.60^{\circ}$	$D = 32.87^{\circ}$	$D = 9.15^{\circ}$
$L = 96.67'$	$L = 181.58'$	$L = 168.85'$

NOTE:

- = Concrete Monuments
- o = Wood Stake

Error of closure = $1 / 36,900$
Island acreage = 30.9 Acres
Marsh acreage = 151.4 Acres
Total no of lots = 6 Lots

NOTE:
See sheet 1 for notes
and certifications.

ESTATE SITES

ON SYLVAN ISLAND, FIFTH G.M. DISTRICT
CHATHAM COUNTY, GEORGIA

Scale: 1" = 100'

HUSSEY & GAY
Consulting Engineers
SAVANNAH, GEORGIA

Date: June, 1966

Approved By Chatham County Engineer 29 March 1967

Joseph A. Logan
County Engineer

Approved For Chatham County Department Of Public Health Division
Of Engineering & Sanitation March 28 1967

Charles W. Lindsey
Director

Approved By Metropolitan Planning Commission March 27 1967

Sam H. Roth
Secretary

Approved In Open Court This 31st Day Of MARCH 1967

W. H. S. Neal, C.C.C. W. H. S. Neal, C.C.C.

John P. Rucker, C.C.C. John P. Rucker, C.C.C.

John P. Rucker, C.C.C. John P. Rucker, C.C.C.

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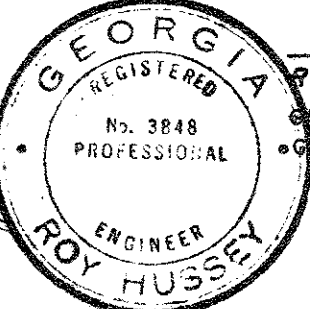
John P. Rucker, C.C.C. John P. Rucker, C.C.C.

GENERAL NOTES:

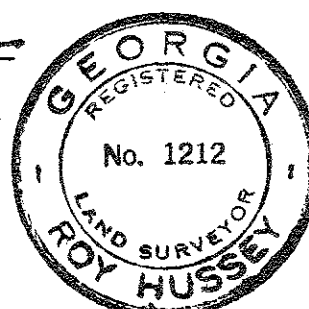
1. Lots to be served by private wells and individual septic tanks. Individual plot plans shall be submitted to health department.
2. Total development of island not to exceed fourteen building sites.
3. Contours based on Mean Sea Level Datum.
4. Building set back line as shown.
5. Utility easements to be provided where necessary to extend utilities.
6. Roads to and on island to remain private and are not proposed to be accepted for maintenance by Chatham County.
7. Waterways & marshlands were taken from aerial photograph and were not checked by field survey.

I certify that all angles, bearings, measurements of courses and distances and monument locations are correct as shown and have been proved by land survey.

In my opinion this is a correct representation of the land platted and has been prepared in conformity with the minimum standards and requirements of law.



ROY HUSSEY
REG. ENG. NO. 3848
REG. L.S. NO. 1212



ROY HUSSEY
LAND SURVEYOR
No. 1212

PLAT OF ACCESS ROAD RECORDED
IN CHATHAM COUNTY RECORDS
IN PLAT RECORD BOOK 2,
PAGE 269

LOCATION PLAN

SPECIAL NOTES

1. AT THE SUBDIVIDER'S REQUEST THE ROADS SHOWN ON THE SUBDIVISION PLAT SHALL REMAIN PRIVATE FOR THE USE OF LOT OWNERS WITHIN SAID SUBDIVISION AND NOT THE GENERAL PUBLIC. HENCE, CHATHAM COUNTY, IN THE APPROVAL OF THIS SUBDIVISION, RECEIVES NO TITLE TO THESE STREETS AND ASSUMES NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID STREETS OR ROADS NOR FOR THE MAINTENANCE OF ANY DRAINAGE STRUCTURES OR SYSTEMS WITHIN SAID SUBDIVISION.
2. RESERVATION OF STREETS OR ACCESS WAYS AND THE DRAINAGE SYSTEMS WITHIN THE SUBDIVISION SHALL NOT PREVENT OR DETER THE USE OF THE STREETS BY GOVERNMENTAL EMERGENCY OR SERVICE VEHICLES AS ACCESS TO ANY POINT WITHIN THE DEVELOPMENT.

NOTE

- = Concrete Monuments
- o = Wood Stake

Error of closure = 1/36,900
Total lots = 6 lots
Total acreage in subdivision = 37.53 acres
See above for individual acreages.

NOTE:
Curve data based on Arc Definition.

RESUBDIVISION OF LOTS 1-EAST & 1-WEST AND MARSH LOTS "B" & "C" ESTATE SITES

ON SYLVAN ISLAND, FIFTH C.M. DISTRICT
CHATHAM COUNTY, GEORGIA

REVISED 4-17-72 TO CHANGE
LOT LINE BETWEEN LOT
1B & LOT 2

HUSSEY & GAY
Consulting Engineers
SAVANNAH, GEORGIA

Date: Feb., 1967

Scale: 1" = 100'

"MAGNETIC NORTH"

LOCATION PLAN

Plat Of Access Road Recorded In
Chatham County Records In
Plat Record Book Q, Page 269

ACCESS ROAD 60' R/W

WILLIAMSON ISLAND

PROPERTY LINE IS THREAD OF SYLVAN CREEK

PROPERTY LINE IS THREAD OF SYLVAN CREEK

COUNTRY CLUB OR WILLIAMSON CREEK

SPECIAL NOTES

1. AT THE SUBDIVIDER'S REQUEST THE ROAD SHOWN ON THE SUBDIVISION PLAT SHALL REMAIN PRIVATE FOR THE USE OF LOT OWNERS WITHIN SAID SUBDIVISION AND NOT THE GENERAL PUBLIC, HENCE, CHATHAM COUNTY, IN THE APPROVAL OF THIS SUBDIVISION, RECEIVES NO TITLE TO THIS STREET AND ASSUMES NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID STREET OR ROAD NOR FOR THE MAINTENANCE OF ANY DRAINAGE STRUCTURE OR SYSTEM WITHIN SAID SUBDIVISION.
2. RESERVATION OF STREET OR ACCESS WAYS AND THE DRAINAGE SYSTEM WITHIN THE SUBDIVISION SHALL NOT PREVENT OR DETER THE USE OF THE STREET BY GOVERNMENTAL EMERGENCY OR SERVICE VEHICLES AS ACCESS TO ANY POINT WITHIN THE DEVELOPMENT.

GENERAL NOTES:

1. Lots to be served by private wells and individual septic tanks. Individual plot plans shall be submitted to health department.
2. Total development of island not to exceed fourteen building sites.
3. Contours based on mean sea level datum.
4. No residences to be built nearer than 35 feet to front lot line.
5. Utility easements to be provided where necessary to extend utilities.
6. Roads to and on island to remain private and are not proposed to be accepted for maintenance by Chatham County.
7. Waterways & marshlands were taken from aerial photograph and were not checked by field survey.

I certify that all angles, bearings, measurements of courses and distances and monument locations are correct as shown and have been proved by land survey.

In my opinion this plat is a correct representation of the land platted and has been prepared in conformity with the minimum standards and requirements of law.

Approved By Chatham County Engineer 15 July 1966

Joseph A. Logan
County Engineer

Approved For Chatham County Department Of Public Health Division
Of Engineering & Sanitation 15 July 1966

Mark R. Dinkins
Director

Approved By Metropolitan Planning Commission 15 July 1966

Laurie K. Abbott
Secretary

Approved in Open Court This 22nd Day Of July 1966

<u>Wm S. Neal</u> c.c.c.	<u>John P. Pousakis</u> c.c.c.
<u>John F. Wood</u> c.c.c.	<u>Frank W. Smith</u> c.c.c.
<u>James M. Moore</u> c.c.c.	<u>P. E. Chilton</u> c.c.c.

ESTATE SITES

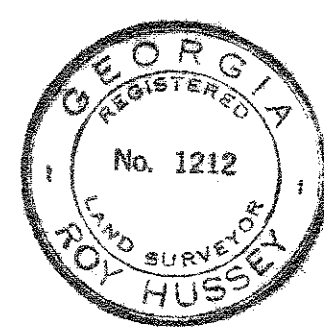
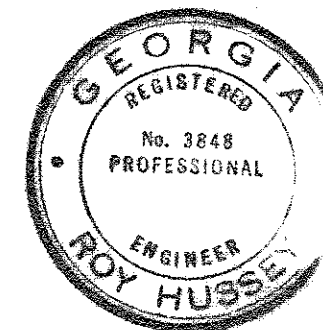
ON SYLVAN ISLAND FIFTH G. M. DISTRICT
CHATHAM COUNTY, GEORGIA

HUSSEY & GAY
Consulting Engineers
SAVANNAH, GEORGIA

Date: June, 1966

Scale: 1" = 300'

Roy Hussey
ROY HUSSEY
GA. REG. ENG. NO. 3848
GA. REG. L.S. NO. 1212



RECEIVED
JUL 11 1966
METROPOLITAN
PLANNING COMMISSION

Plat Of Access Road Recorded In
Chatham County Records In
Plat Record Book Q, Page 269

ACCESS ROAD
60' R/W

BENCHMARK
SPIKE IN 14" PINE
ELEV. 14.38

BENCHMARK
SPIKE IN 15" OAK
ELEV. 7.95

ESTATE SITES

ON SYLVAN ISLAND, 15TH G.M. DISTRICT
CHATHAM COUNTY, GEORGIA

REVISED 12-20-73 TO SHOW
CORRECTED ARC DISTANCE LOT 2, CURVE NO. 2

REVISED 4-17-72
TO CHANGE LOT LINES
2, 3, 4-5

NOTE:
See sheet 1 for notes
and certifications.

Scale: 1"=100'

JAY
engineers
SAVANNAH, GEORGIA

Date: June, 1966

CURVE DATA BASED ON ARC DEFINITION

Curve No. 1	Curve No. 2	Curve No. 3
$\Delta = 68^{\circ}15'$	$\Delta = 59^{\circ}41'$	$\Delta = 15^{\circ}27'$
$R = 81.16'$	$R = 174.32'$	$R = 626.17'$
$T = 55.00'$	$T = 100.00'$	$T = 84.94'$
$D = 70.60^{\circ}$	$D = 32.87^{\circ}$	$D = 9.15^{\circ}$
$L = 96.67'$	$L = 181.58'$	$L = 168.85'$

NOTE:

- = Concrete Monuments
- o = Wood Stake

Error of closure = 1 / 36,900
Island acreage = 30.9 Acres
Marsh acreage = 151.4 Acres
Total no. of lots = 6 Lots

RECEIVED
JUL 11 1966
METROPOLITAN
PLANNING COMMISSION



CHATHAM COUNTY

DEPARTMENT OF BUILDING SAFETY AND REGULATORY SERVICES

P.O. Box 8161

Savannah, GA 31412-8161

912-201-4300 | Fax 912-201-4301

<http://buildingsafety.chathamcounty.org>



Gregori S. Anderson, CBO
Director

Clifford Bascombe, CBO
Assistant Director

November 30, 2022

Mr. Alton Brown Jr.
Resource & Land Consultants
41 Park of Commerce Way, Suite 101
Savannah, Georgia 31405

Re: 5 Sylvan Island Road
Chatham, Georgia

Dear Mr. Brown:

The above reference property is located within the R-1/EO, Single Family Residential Zoning District with an Environmental Overlay.

The proposed project does not conflict with the Chatham County Zoning Ordinance.

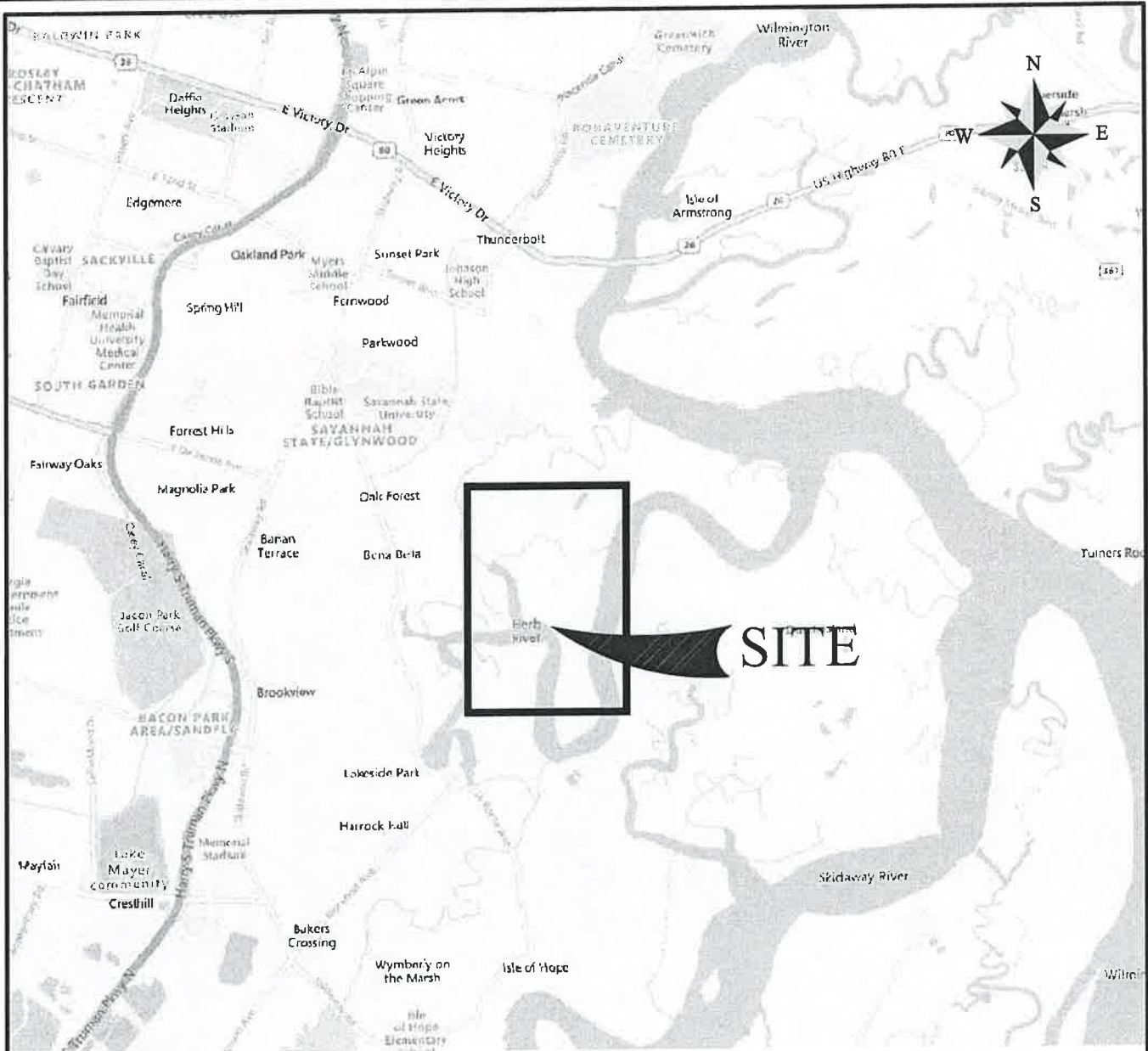
If there are any questions, contact this office at (912) 201-4320.

Sincerely,

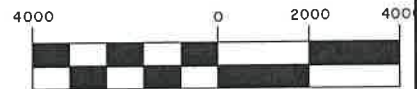
Gregori S. Anderson, CBO
Director of Building Safety and Regulatory Services

GSA/mm

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GRAPHIC SCALE



(IN FEET)

1 inch = 4000ft.

DATUM: MLLW



GA 12/1/22

5 SYLVAN ISLAND ROAD EROSION CONTROL

SHEET NAME:

VICINITY MAP

APPLICANT:

FRANK PEEPLES

LOCATION: SAVANNAH, GA

DATE: 7/15/2022

JOB NUMBER: J - 30155.0000

SHEET: 1

SCALE: 1" = 4000'



THOMAS & HUTTON

Engineering | Surveying | Planning | GIS | Consulting

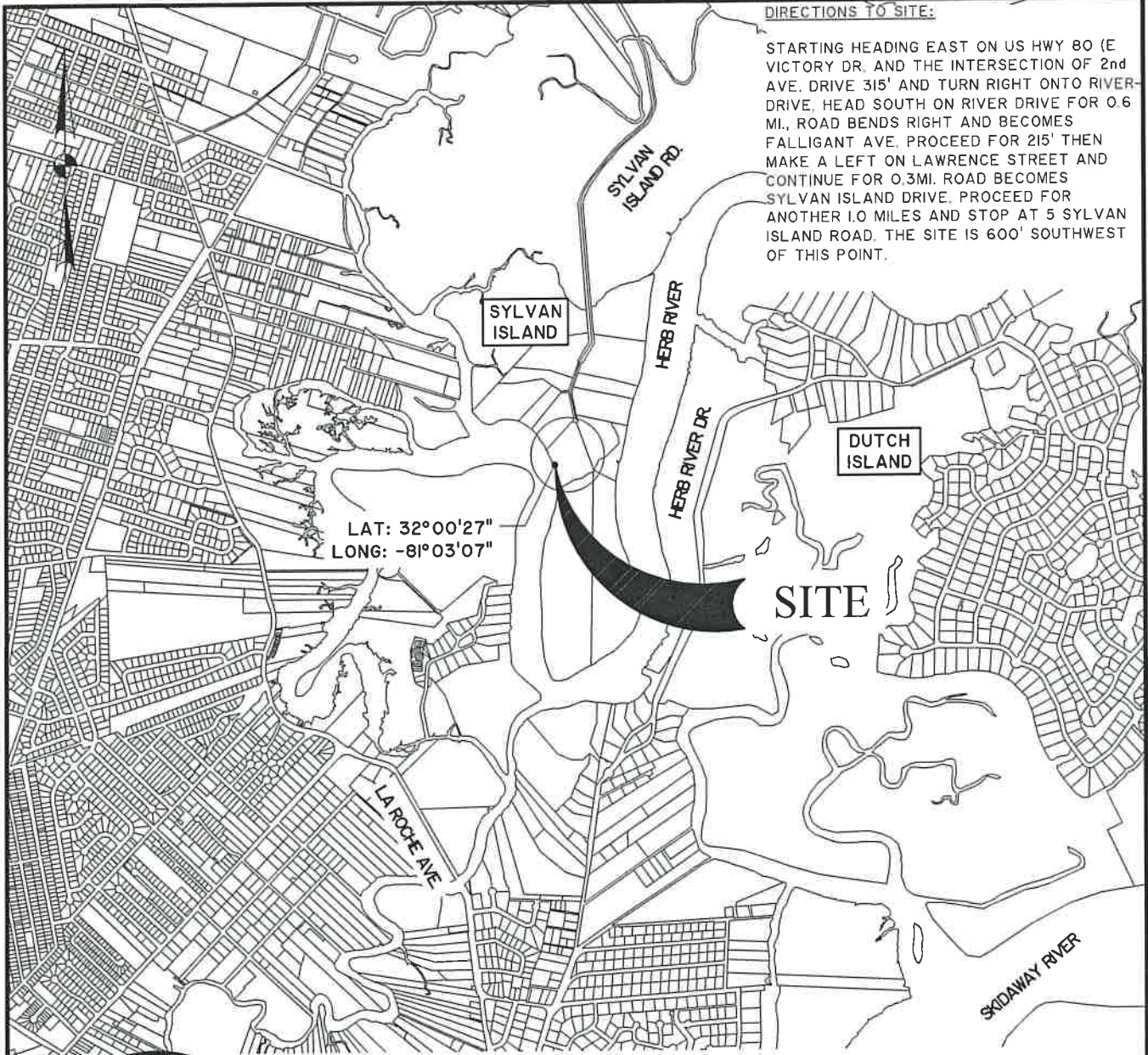
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300

www.thomasandhutton.com

Z:\30155\30155.0000\Engineering\Drawings\Permit\Drawings\30155.0000 02-LOCATION.dwg - Jul 12, 2022 - 2:52:29 PM

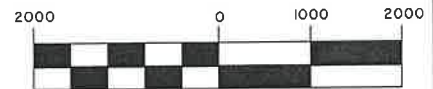
DIRECTIONS TO SITE:

STARTING HEADING EAST ON US HWY 80 (E VICTORY DR. AND THE INTERSECTION OF 2nd AVE. DRIVE 315' AND TURN RIGHT ONTO RIVER DRIVE. HEAD SOUTH ON RIVER DRIVE FOR 0.6 MI., ROAD BENDS RIGHT AND BECOMES FALLIGANT AVE. PROCEED FOR 215' THEN MAKE A LEFT ON LAWRENCE STREET AND CONTINUE FOR 0.3MI. ROAD BECOMES SYLVAN ISLAND DRIVE. PROCEED FOR ANOTHER 1.0 MILES AND STOP AT 5 SYLVAN ISLAND ROAD. THE SITE IS 600' SOUTHWEST OF THIS POINT.



GA 12/1/22

GRAPHIC SCALE



(IN FEET)

1 inch = 2000ft.

DATUM: NAVD88

5 SYLVAN ISLAND ROAD EROSION CONTROL

SHEET NAME:

LOCATION MAP

APPLICANT:

FRANK PEEPLES

LOCATION: SAVANNAH, GA

DATE: 7/15/2022

JOB NUMBER: J - 30155.0000

SHEET: 2

SCALE: 1" = 2000'

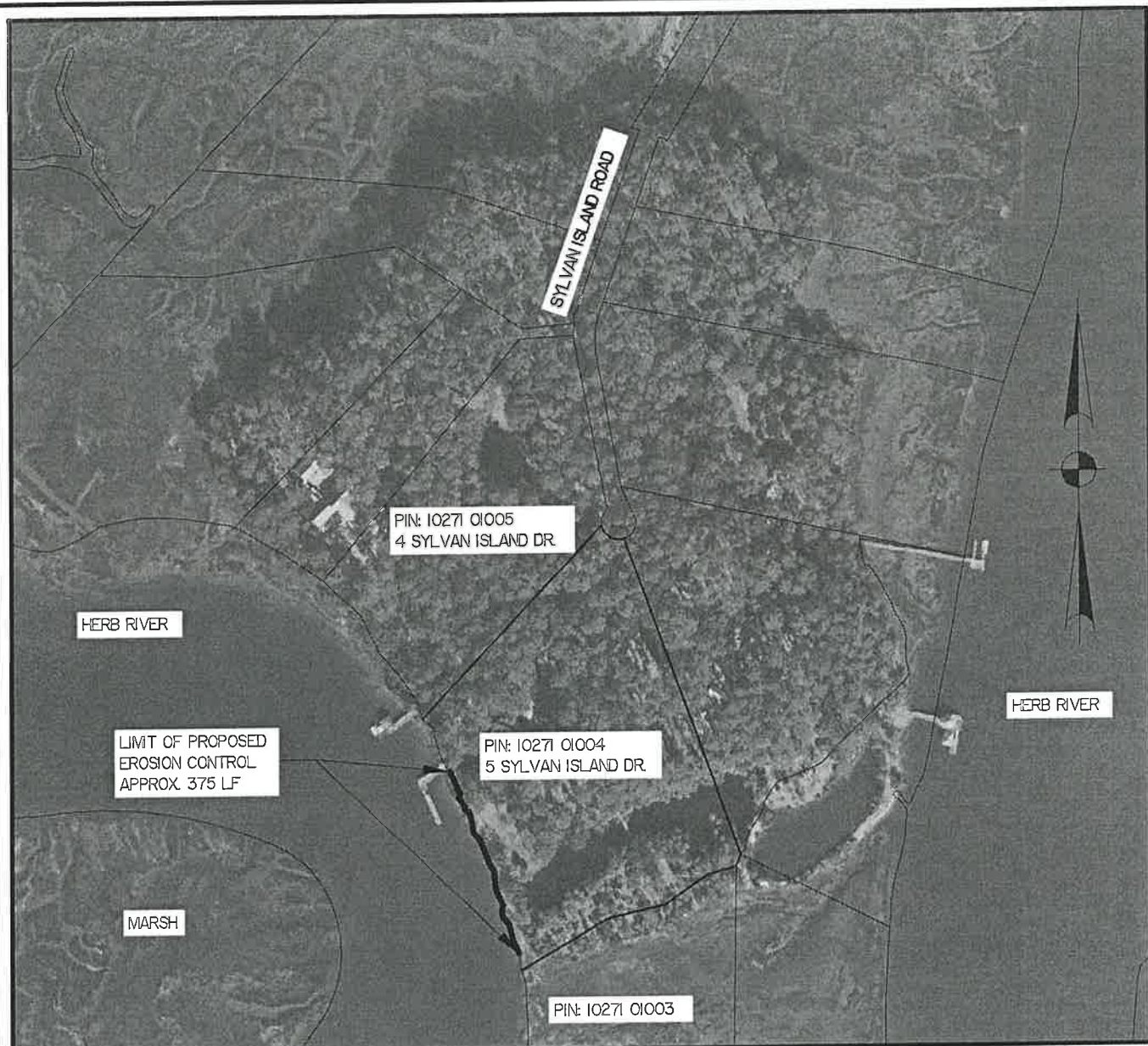


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GA 12/1/22

GRAPHIC SCALE



(IN FEET)
1 inch = 300 ft.

5 SYLVAN ISLAND ROAD EROSION CONTROL

SHEET NAME:

SITE MAP

APPLICANT:

FRANK PEEPLES

LOCATION: SAVANNAH, GA

DATE: 7/15/2022

JOB NUMBER: J - 30155.0000

SHEET: 3

SCALE: 1" = 300'



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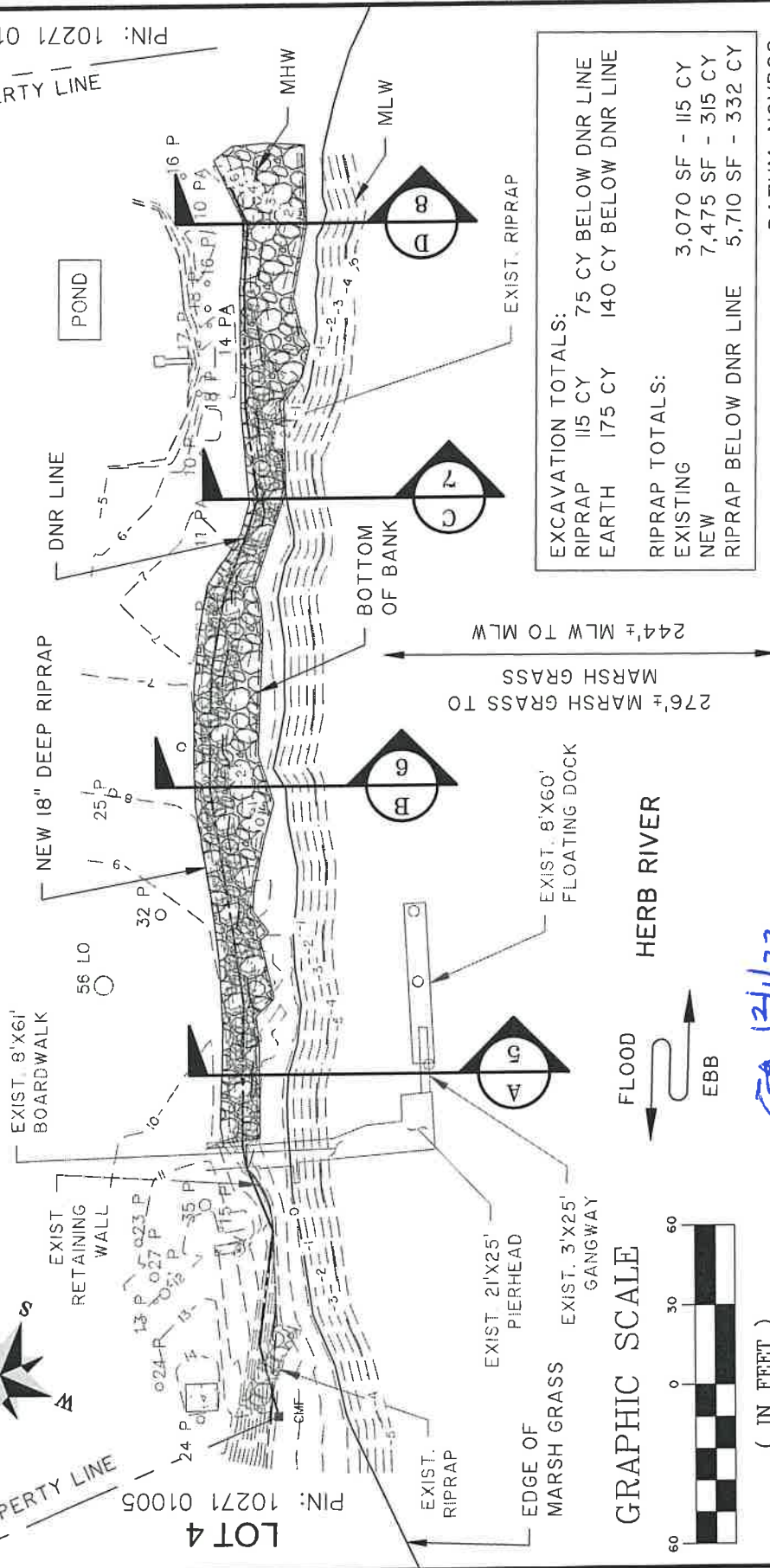
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LOT 5
PIN: 10271 01004

LOT 4
PIN: 10271 01005



EXCAVATION TOTALS:	
RIPRAP	115 CY
EARTH	175 CY
RIPRAP TOTALS:	
EXISTING	3,070 SF - 115 CY
NEW	7,475 SF - 315 CY
RIPRAP BELOW DNR LINE	5,710 SF - 332 CY

DATUM: NGVD88

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.



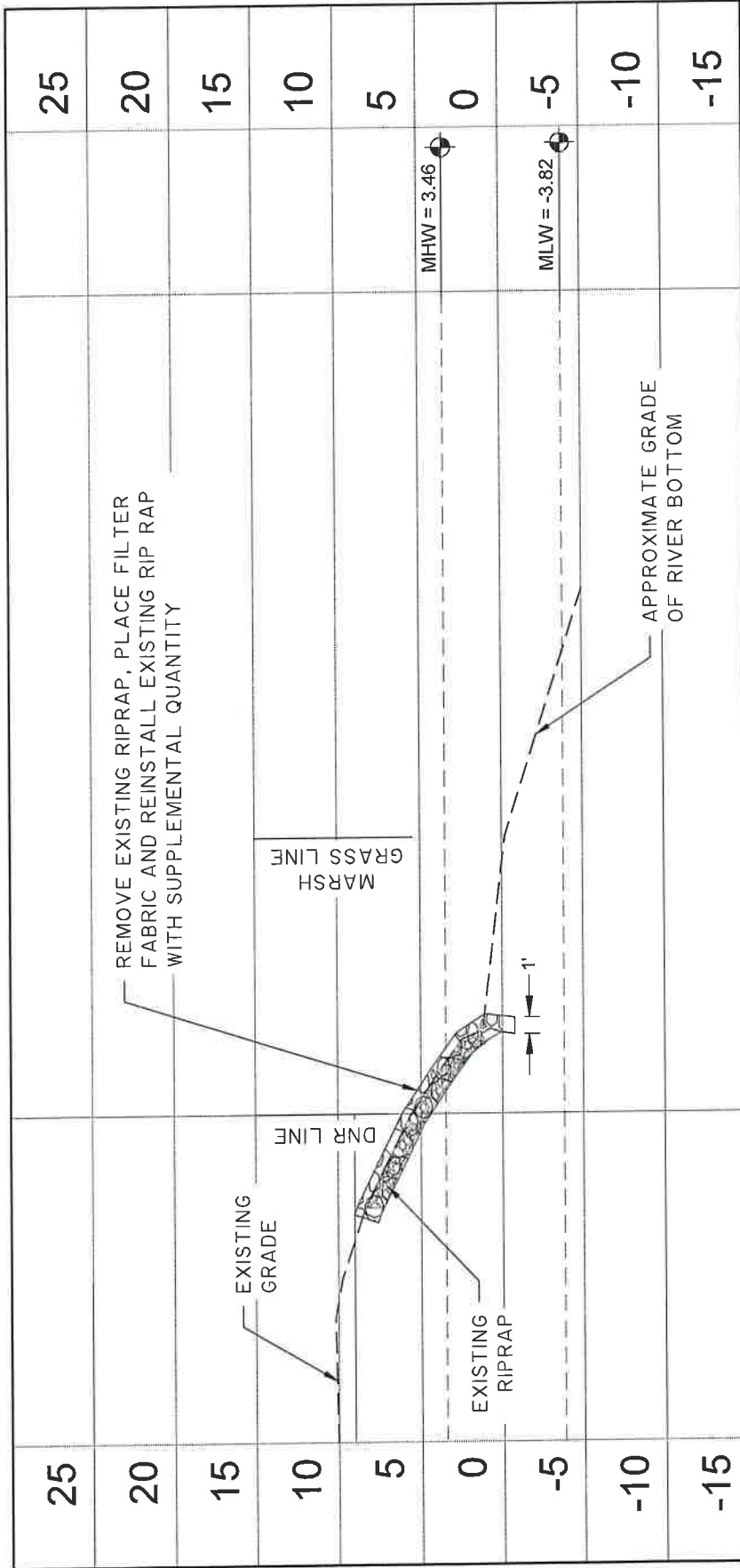
5 SYLVAN ISLAND ROAD EROSION CONTROL

SHEET NAME:
SITE PLAN
CLIENT:
FRANK PEEPLES
LOCATION: SAVANNAH, GA
DATE: 7/15/2022
JOB NUMBER: J-30155.0000

SHEET: 4
SCALE: 1" = 60'

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SECTION

1" = 10'

DATUM: NGVD88



5 SYLVAN ISLAND ROAD EROSION CONTROL

SHEET NAME:
SECTION A

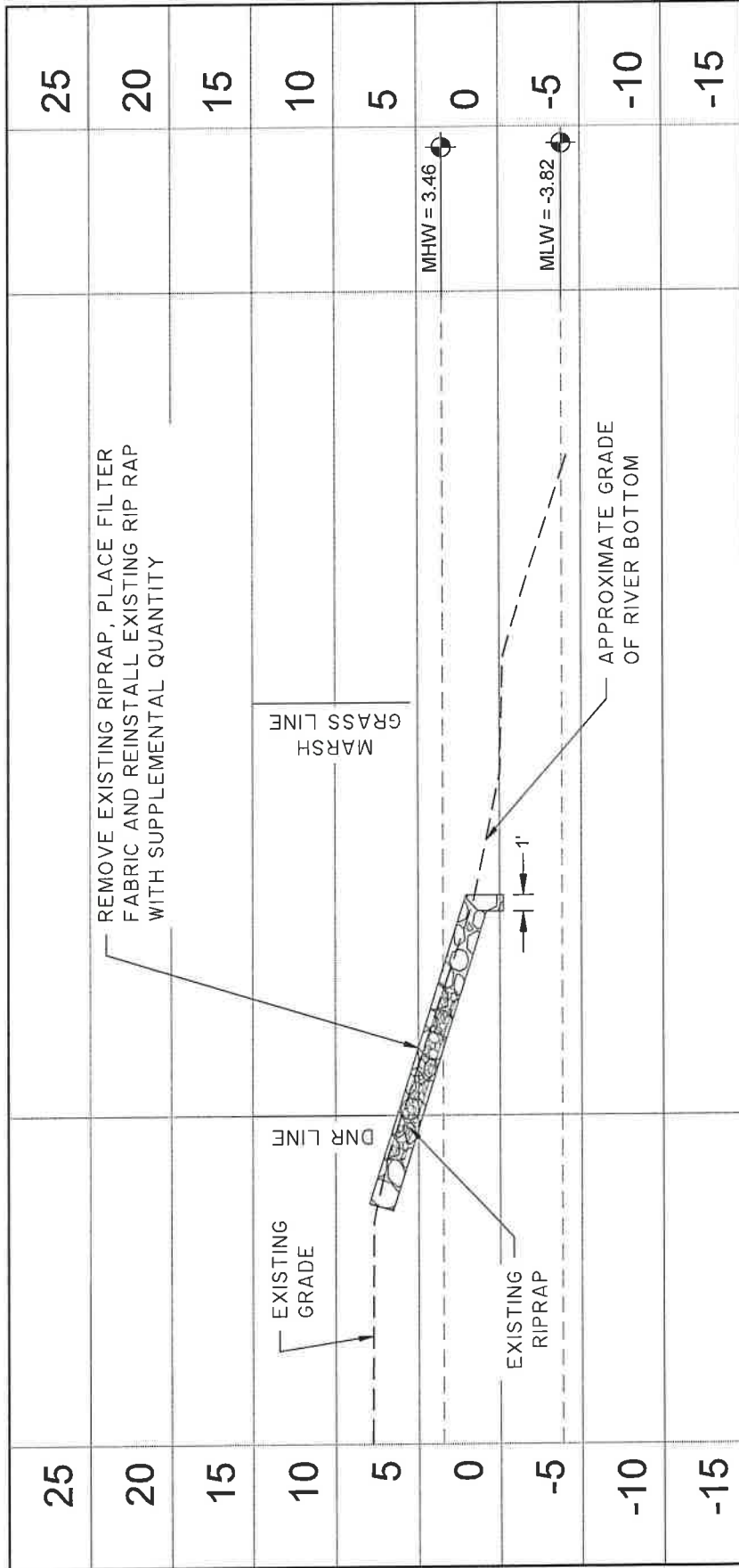
CLIENT:
FRANK PEEPLES

LOCATION: SAVANNAH, GA
DATE: 7/15/2022
JOB NUMBER: J-30155.0000

SHEET: 5
SCALE: 1" = 10'

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DATUM: NGVD88

B SECTION
6
1" = 10'



5 SYLVAN ISLAND ROAD EROSION CONTROL

SHEET NAME:
SECTION B

CLIENT:
FRANK PEEPLES

LOCATION: SAVANNAH, GA

DATE: 7/15/2022

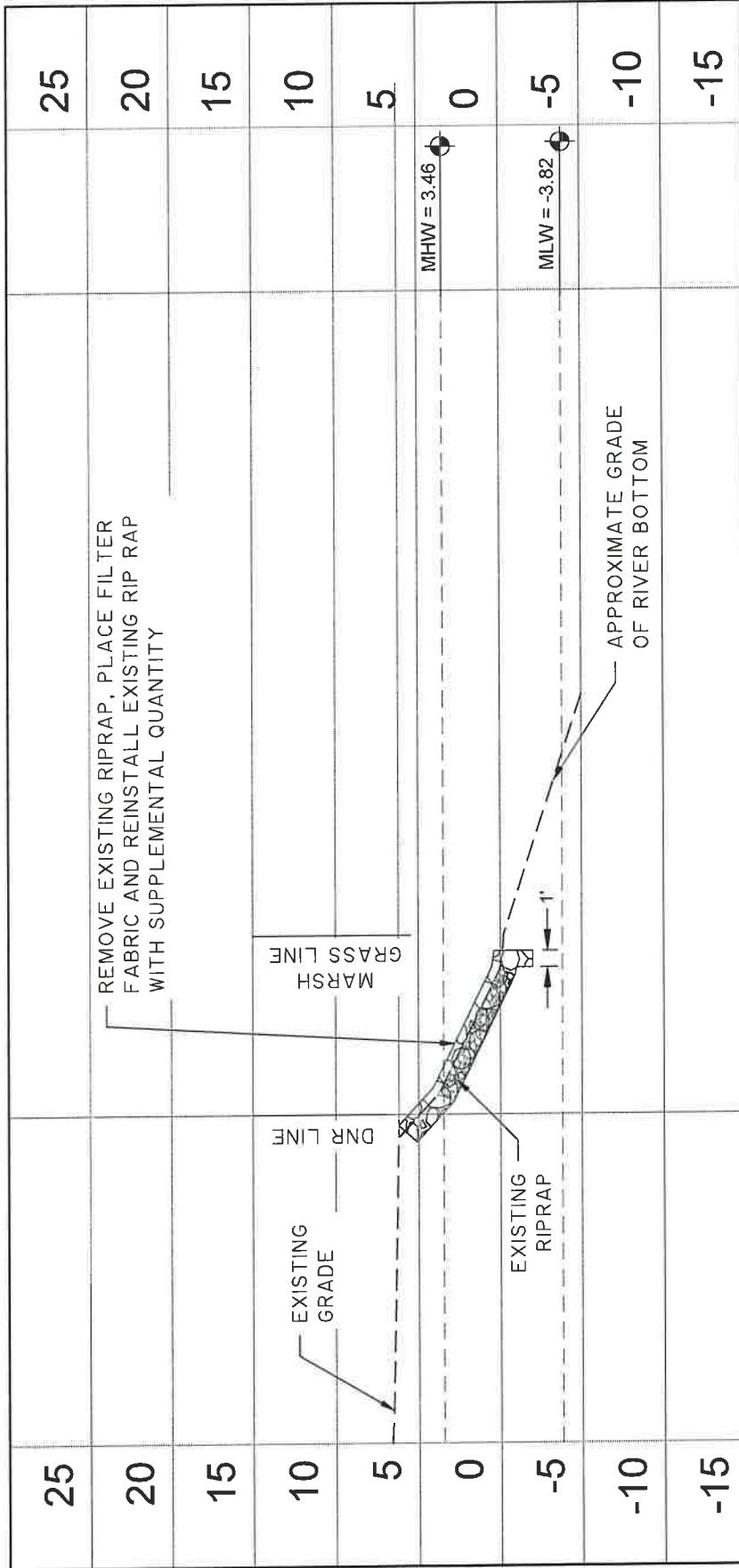
JOB NUMBER: J-30155.0000

SHEET: 6
SCALE: 1" = 10'

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DATUM: NGVD88

GA 12/1/22



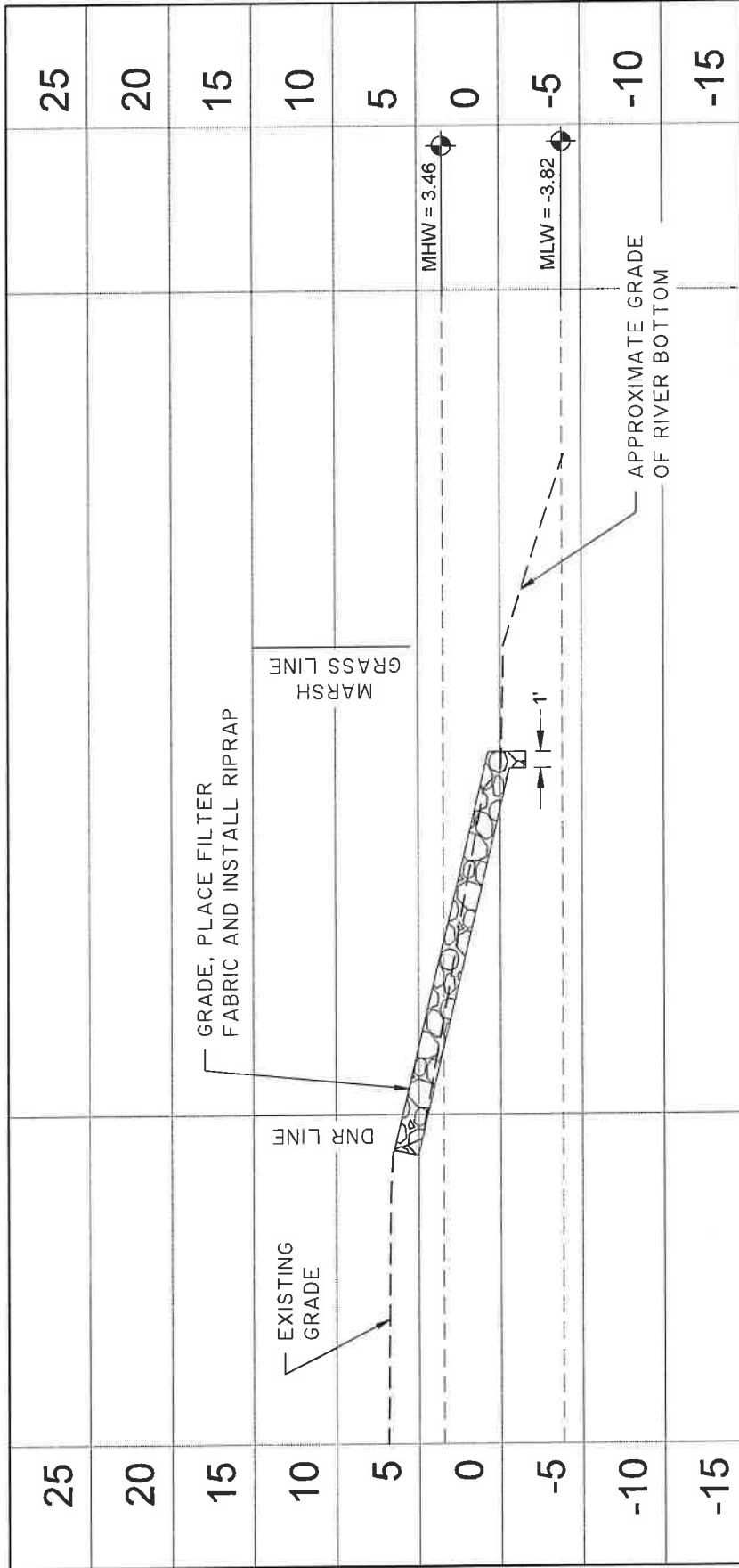
5 SYLVAN ISLAND ROAD EROSION CONTROL

SHEET NAME:
SECTION C
CLIENT:
FRANK PEEPLES
LOCATION: SAVANNAH, GA
DATE: 7/15/2022
JOB NUMBER: J-30155.0000

SHEET: 7
SCALE: 1" = 10'

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D 8 SECTION

1" = 10'

DATUM: NGVD88

GA 12/1/22



5 SYLVAN ISLAND ROAD EROSION CONTROL

SHEET NAME:
SECTION D
CLIENT:
FRANK PEEPLES
LOCATION: SAVANNAH, GA
DATE: 7/15/2022
JOB NUMBER: J-30155.0000

SHEET: 8
SCALE: 1" = 10'

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