

LINE	BEARING	DISTANCE
L1	N66°40'23"E	13.63'
L2	N31°17'08"E	27.49'
L3	S48°18'50"E	4.99'
L4	S03°03'23"E	36.91'
L5	S89°55'47"E	24.48'
L6	S71°13'49"E	14.40'
L7	S00°49'17"E	3.63'
L8	S17°55'36"W	46.69'
L9	N86°41'07"W	18.06'
L10	S42°12'20"W	16.80'

THIS AREA RESERVED FOR  
CLERK OF SUPERIOR COURT

**SURVEYOR'S NOTES**

1. THE GA DNR SHORE PROTECTION ACT JURISDICTION AREA WAS DELINEATED BY GA DEPARTMENT OF NATURAL RESOURCES 6/28/21 AND SURVEYED BY BREWER LAND SURVEYING 7/02/21. GA DEPARTMENT OF NATURAL RESOURCES WAS ON SITE 8/5/25 AND REVERIFIED THE SHORE PROTECTION ACT JURISDICTION AREA. DISTURBANCE TO PROTECTED AREAS WITHOUT PROPER PERMIT APPROVAL CAN BE PUNISHABLE BY LAW.
2. COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
3. ACCORDING TO THE FLOOD INSURANCE RATE MAP 13051C0214G, REVISED 08/16/2018, THIS PROPERTY LIES IN ZONE AE AND ZONE VE WITH BASE FLOOD ELEVATIONS (BFE) AS SHOWN. THE FLOOD LINE HAS BEEN TAKEN FROM DIGITAL DATA PREPARED BY F.E.M.A. AND IS APPROXIMATE.
4. IMPROVEMENTS MAY EXIST THAT ARE NOT SHOWN.

**LEGEND**

- IRS IRON ROD SET
- IRF IRON ROD FOUND

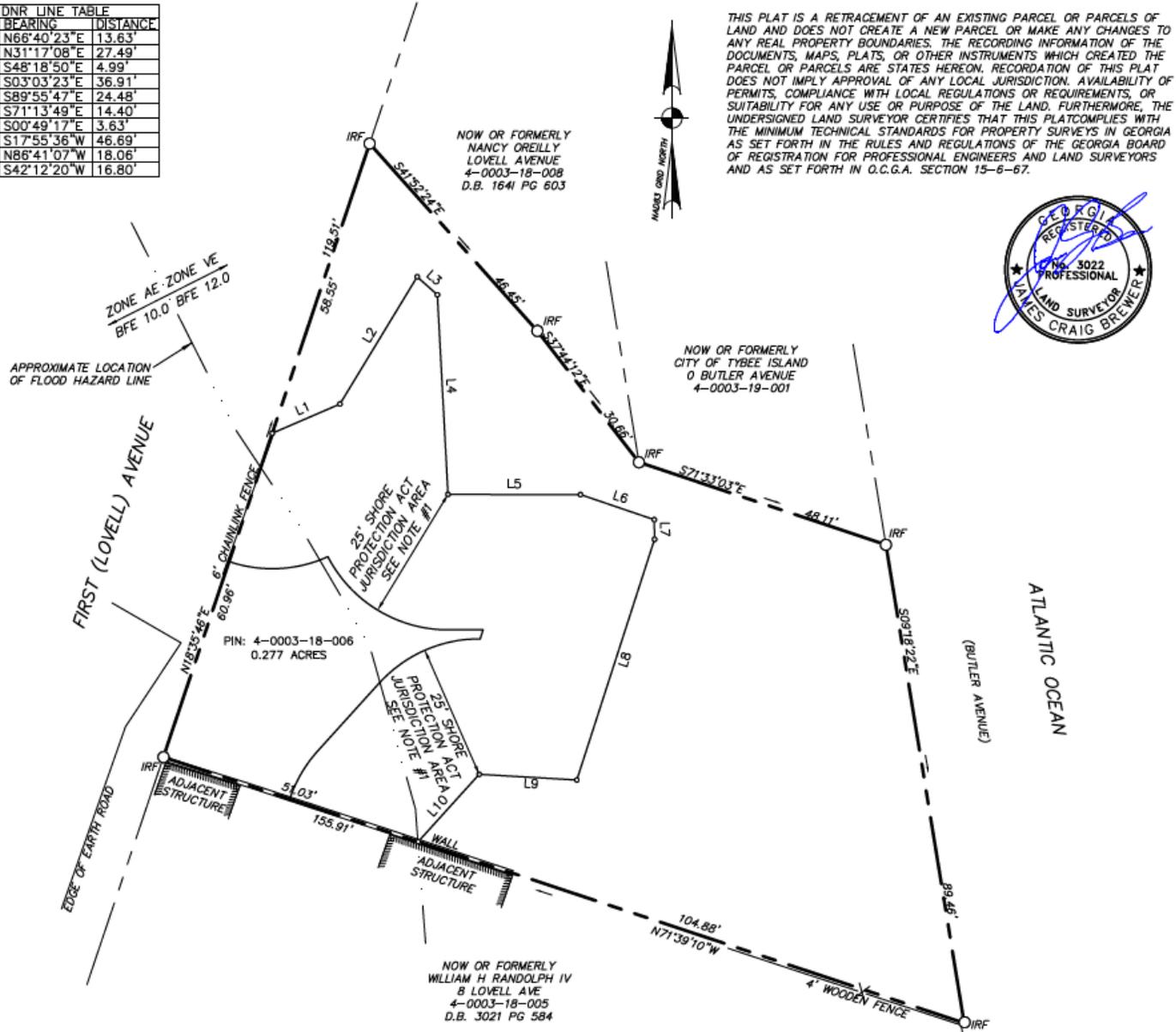
**REFERENCES**

1. S.M.B. 00C PG 14
2. P.B. P PG 208

EQUIPMENT USED: TOTAL STATION  
ANGULAR ERROR = 2" PER  
ADJUSTED BY: COMPASS RULE  
PLAT CLOSURE = 1/30,000+  
FIELD CLOSURE = 1/31,830



Graphic Scale 1" = 20'



THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATES HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION. AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



**BREWER**  
LAND SURVEYING  
604 U.S. Highway 80 W  
Pooler, GA 31322  
craig@brewersurvey.com  
Phone (912) 836-2205  
www.BrewerSurvey.com  
LSF # 1095

A SHORE PROTECTION ACT JURISDICTION AREA SURVEY OF  
**LOT 3, WARD 1**  
TYBEE ISLAND, CHATHAM COUNTY, GA  
PREPARED FOR  
**ROBERT FORREST**

PROJECT #:	190335.3
FIELD:	7/02/21
DRAWING:	7/22/21
LAST REVISED:	8/12/25
DRAWN BY:	JMC/CAL

*[Signature]* 08.13.2025

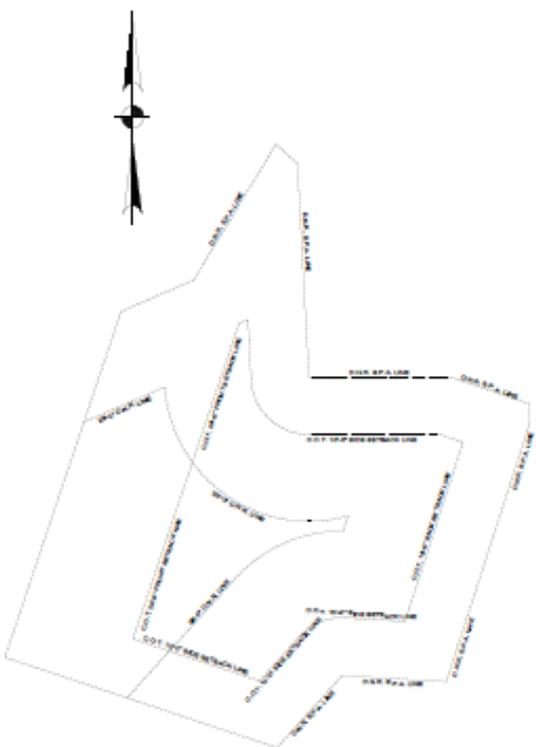
**DRAWING NOTES**  
 REGULATORY INFORMATION  
 PROJECT: L-102-1 & L-102-2  
 REGULATIONS: ICC 600-2014  
 CITY: ATLANTA, GA I.M.C. - 2018  
 ALL TRADES: V.E. 12  
 SHEET NO: 12 - 13

**GENERAL PROJECT NOTES**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION AND THE ATLANTA ZONING ORDINANCES.  
 2. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ATLANTA.  
 3. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION.  
 4. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION.  
 5. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION.  
 6. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION.  
 7. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION.  
 8. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION.  
 9. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION.  
 10. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ATLANTA DEPARTMENT OF PUBLIC WORKS PERMITS DIVISION.

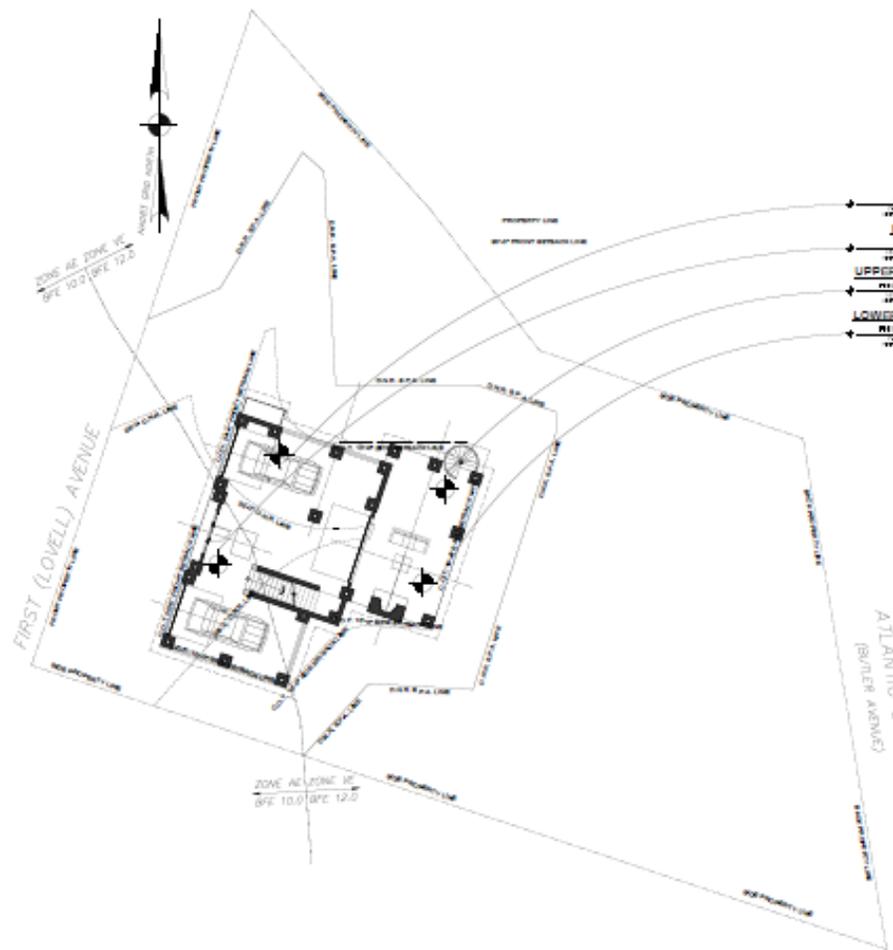
**REGULATORY INFORMATION**  
 REGULATIONS: ICC 600-2014  
 CITY: ATLANTA, GA I.M.C. - 2018  
 ALL TRADES: V.E. 12  
 SHEET NO: 12 - 13

**RICHARDSON**  
 ARCHITECTS  
 1000 N. W. AVENUE  
 SUITE 1000  
 ATLANTA, GA 30309  
 TEL: 404.525.1000  
 WWW.RICHARDSONARCHITECTS.COM

REVIEW   
 DATE: 12/12/2018  
 PROJECT: L-102-1 & L-102-2  
 SHEET: 12 - 13



**SITE PLAN - BUILDING AREA**  
 SCALE: 1" = 10'-0"  
 L-102-2



**SITE PLAN - SETBACKS - LIMITATIONS**  
 SCALE: 1" = 10'-0"  
 L-102-1

**RICHARDSON**  
 ARCHITECTS  
 1000 N. W. AVENUE  
 SUITE 1000  
 ATLANTA, GA 30309  
 TEL: 404.525.1000  
 WWW.RICHARDSONARCHITECTS.COM

**L - 102**  
 12 - 13  
 SINGLE USE ONLY

**DRAWING NOTES**  
 1. VERIFY ALL DIMENSIONS AND LEVELS MATCHED BY FIELD TO ANY CONSTRUCTION.  
 2. STRUCTURAL INFORMATION:  
 ALL FOUNDATION PLAN PER ARCHITECTURAL APPROVAL.  
**DESIGN LOADS**  
 WIND LOAD BASED ON WIND SPEED: ICC 600-2014  
 120 - 120 mph L.R.C. - 2018  
 SEISMIC CATEGORY IV  
 FLOOR LOAD PER IBC: V.E. 12  
 ROOF LOAD PER IBC: 12 - 13  
 VERIFY R.F.T. PER LOCAL

**GENERAL PROJECT NOTES**  
 1. ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE NOTED TO THE CONTRARY.  
 2. VERIFY ALL DIMENSIONS AND LEVELS MATCHED BY FIELD TO ANY CONSTRUCTION.  
 3. STRUCTURAL INFORMATION:  
 ALL FOUNDATION PLAN PER ARCHITECTURAL APPROVAL.  
**DESIGN LOADS**  
 WIND LOAD BASED ON WIND SPEED: ICC 600-2014  
 120 - 120 mph L.R.C. - 2018  
 SEISMIC CATEGORY IV  
 FLOOR LOAD PER IBC: V.E. 12  
 ROOF LOAD PER IBC: 12 - 13  
 VERIFY R.F.T. PER LOCAL

**STRUCTURAL INFORMATION**  
 ALL FOUNDATION PLAN PER ARCHITECTURAL APPROVAL.  
**DESIGN LOADS**  
 WIND LOAD BASED ON WIND SPEED: ICC 600-2014  
 120 - 120 mph L.R.C. - 2018  
 SEISMIC CATEGORY IV  
 FLOOR LOAD PER IBC: V.E. 12  
 ROOF LOAD PER IBC: 12 - 13  
 VERIFY R.F.T. PER LOCAL

**RICHARDSON**  
 SINGLE FAMILY RESIDENCE - NEW  
 4 LINDAL LUMBER  
 1100 W. BROADWAY  
 CITY OF TAMPA FLORIDA  
 HILLSBORO COUNTY

PRINCIPAL DESIGNER: [Signature]

**REVIEW**  
 REVIEW

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF RICHARDSON DESIGN GROUP, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF RICHARDSON DESIGN GROUP, LLC IS STRICTLY PROHIBITED. THIS DOCUMENT IS THE PROPERTY OF RICHARDSON DESIGN GROUP, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF RICHARDSON DESIGN GROUP, LLC IS STRICTLY PROHIBITED.

OWNER: [Signature]



EXTERIOR ELEVATION - BACK - BEACH SIDE  
 SCALE: 1/4" = 1'-0"  
 A - 201 - 1



**RICHARDSON** 25 - 040  
 SINGLE FAMILY RESIDENCE - NEW  
 4 LINDAL LUMBER  
 1100 W. BROADWAY  
 CITY OF TAMPA FLORIDA  
 HILLSBORO COUNTY  
 RCV

**A - 200**  
 SINGLE USE ONLY

**DRAWING NOTES**  
 1. ALL DIMENSIONS UNLESS NOTED OTHERWISE ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. STRUCTURAL INFORMATION IS PROVIDED FOR GENERAL REFERENCE ONLY.  
 3. DESIGN LOADS:  
 WIND AS PER ASCE 7-10 AND ICC 600-2014  
 SEISMIC AS PER IBC 2012 AND I.R.C. - 2015  
 RAIN AS PER ASCE 7-10 AND I.R.C. - 2015  
 4. ALL DIMENSIONS UNLESS NOTED OTHERWISE ARE TO FACE UNLESS NOTED OTHERWISE.

**GENERAL PROJECT NOTES**  
 1. THE OWNER HAS REVIEWED AND APPROVED THE ARCHITECTURAL AND ENGINEERING DRAWINGS.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.  
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.  
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.  
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.  
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

**STRUCTURAL INFORMATION**  
 1. ALL DIMENSIONS UNLESS NOTED OTHERWISE ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. STRUCTURAL INFORMATION IS PROVIDED FOR GENERAL REFERENCE ONLY.  
 3. DESIGN LOADS:  
 WIND AS PER ASCE 7-10 AND ICC 600-2014  
 SEISMIC AS PER IBC 2012 AND I.R.C. - 2015  
 RAIN AS PER ASCE 7-10 AND I.R.C. - 2015  
 4. ALL DIMENSIONS UNLESS NOTED OTHERWISE ARE TO FACE UNLESS NOTED OTHERWISE.

**RICHARDSON**  
 23 - 040  
 1 LEVEL HOUSE  
 1100 S. 10TH ST.  
 DENVER, CO 80202

REVISIONS

REVIEW

THIS DRAWING IS THE PROPERTY OF RICHARDSON DESIGN BUILD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RICHARDSON DESIGN BUILD. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.



EXTERIOR ELEVATION - FRONT  
 SCALE: 1/4" = 1'-0"  
 A - 200 - 1



**RICHARDSON** 23 - 040  
 1 LEVEL HOUSE  
 1100 S. 10TH ST.  
 DENVER, CO 80202

**A - 200**  
 SINGLE USE ONLY

**DRAWING NOTES**  
 1. VERIFY ALL DIMENSIONS AND SPACING BEFORE SETTING TO ANY CONNECTION.  
 2. STRUCTURAL INFORMATION:  
 SEE FOUNDATION PLAN FOR EXISTING STRUCTURAL INFORMATION.  
**DESIGN LOADS**  
 WIND: AS PER 2015 IBC  
 SEISMIC: AS PER 2015 IBC  
 FLOOR: AS PER 2015 IBC  
 ROOF: AS PER 2015 IBC  
 ALL DIMENSIONS UNLESS OTHERWISE NOTED

**GENERAL PROJECT NOTES**  
 1. THE OWNER REPRESENTS THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT.  
 2. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 4. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 6. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 7. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 8. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 9. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 10. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

**STRUCTURAL INFORMATION**  
 SEE FOUNDATION PLAN FOR EXISTING STRUCTURAL INFORMATION.  
**DESIGN LOADS**  
 WIND: AS PER 2015 IBC  
 SEISMIC: AS PER 2015 IBC  
 FLOOR: AS PER 2015 IBC  
 ROOF: AS PER 2015 IBC  
 ALL DIMENSIONS UNLESS OTHERWISE NOTED

**RICHARDSON**  
 SINGLE FAMILY RESIDENCE - NEW  
 4 LEVELS ABOVE  
 10000 S. 100TH AVE.  
 SUITE 100  
 GREENWOOD, CO 80039

PROJECT NUMBER: 23-040

**REVIEW**  
 REVIEWED:   
 ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.



**EXTERIOR ELEVATION - LEFT**  
 SCALE: 1/4" = 1'-0"  
 A - 201 - 1



**RICHARDSON** 23 - 040  
 SINGLE FAMILY RESIDENCE - NEW  
 4 LEVELS ABOVE  
 10000 S. 100TH AVE.  
 SUITE 100  
 GREENWOOD, CO 80039  
 REV

**A - 200**  
 08 - 00 SINGLE USE ONLY



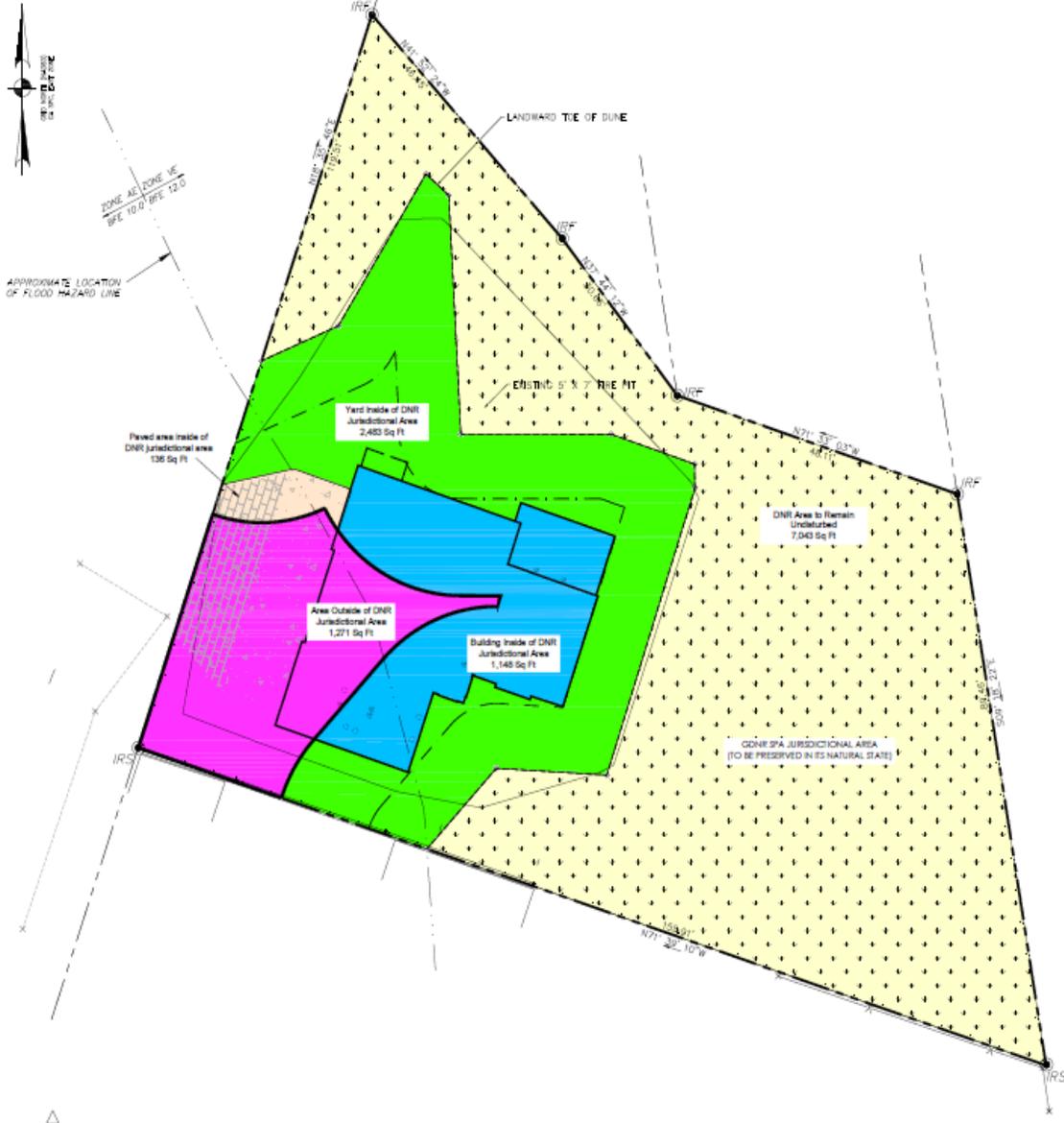
**LEGEND**

- DNR Area to Remain Undisturbed
- Yard Inside of DNR Jurisdictional Area
- Building Inside of DNR Jurisdictional Area
- Paved area inside of DNR jurisdictional area
- Area Outside of DNR Jurisdictional Area



APPROXIMATE LOCATION OF FLOOD HAZARD LINE

ZONE A3 ZONE VE  
SFE 10.0 BFE 12.0



NO.	DATE	DESCRIPTION

**MAUPIN**  
 engineering  
 114 WEST 40<sup>TH</sup> STREET  
 SAVANNAH, GA 31415 • 912.334.4215  
 WWW.MAUPINENGINEERING.COM

**DNR SETBACK EXHIBIT**  
 6 Lovell Ave



DATE: 11/2/2018  
**RELEASED FOR PERMITTING**  
 DRAWN: AZD 8/18/2015  
 CHECKED: JAK DATE

SHEET NO.  
**1 of 1**  
 506-21-01