

JOINT APPLICATION  
FOR  
A DEPARTMENT OF THE ARMY, CORPS OF ENGINEERS PERMIT,  
STATE OF GEORGIA MARSHLAND PROTECTION PERMIT,  
REVOCABLE LICENSE AGREEMENT  
AND REQUEST FOR  
WATER QUALITY CERTIFICATION  
AS APPLICABLE

**INSTRUCTIONS FOR SUBMITTING APPLICATION:**

Every Applicant is Responsible to Complete The Permit Application and Submit as Follows: One copy each of application, location map, drawings, copy of deed and any other supporting information to addresses 1, 2, and 3 below. If water quality certification is required, send only application, location map and drawing to address No. 4.

1. For Department of the Army Permit, mail to: Commander, Savannah District, US Army Corps of Engineers, ATTN: CESAS-RD, 100 W. Oglethorpe Avenue, Savannah, Georgia 31401-3640. Phone (912) 652-5347 and/or toll free, Nationwide 1-800-448-2402.

2. For State Permit - State of Georgia (six coastal counties only) mail to: Habitat Management Program, Coastal Resources Division, Georgia Department of Natural Resources, 1 Conservation Way, Brunswick, Georgia 31523. Phone (912) 264-7218.

3. For Revocable License - State of Georgia (six coastal counties plus Effingham, Long, Wayne, Brantley and Charlton counties only) - Request must have State of Georgia's assent or a waiver authorizing the use of State owned lands. All applications for dock permits in the coastal counties or for docks located in tidally influenced waters in the counties listed above need to be submitted to Real Estate Unit. In addition to instructions above, you must send two signed form letters regarding revocable license agreement to: Ecological Services Coastal Resources Division, Georgia Department of Natural Resources, 1 Conservation Way, Brunswick, Georgia 31523. Phone (912) 264-7218.

4. For Water Quality Certification State of Georgia, mail to: Water Protection Branch, Environmental Protection Division, Georgia Department of Natural Resources, 4220 International Parkway, Suite 101, Atlanta, Georgia 30354 (404) 675-1631.

The application must be signed by the person authorized to undertake the proposed activity. The applicant must be the owner of the property or be the lessee or have the authority to perform the activity requested. Evidence of the above may be furnished by copy of the deed or other instrument as may be appropriate. The application may be signed by a duly authorized agent if accompanied by a statement from the applicant designating the agent. See item 6, page 2.

1. Application No. \_\_\_\_\_

2. Date 3/11/25

3. For Official Use Only \_\_\_\_\_

4. Name and address of applicant. **Smita R. Patel, 330 Clipper Bay, Brunswick, GA 31523**

5. Location where the proposed activity exists or will occur.

Lat. 31.229495° Long. -81.588779°

<u>Glynn</u> County <u>Brunswick</u> Near City or Town <u>1.67 acres</u> Lot Size <u>Buffalo River</u> Name of Waterway	<u>1356</u> Military District <u>Oak Grove Island Plantation</u> Subdivision <u>9'</u> Approximate Elevation of Lo <u>Buffalo River</u> Name of Nearest Creek, River, Sound, Bay or Hammock	<u>Brunswick</u> In City or Town <u>Lot 550</u> Lot No. <u>GA</u> State
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6. Name, address and title of applicant's authorized agent for permit application coordination.

Sam LaBarba (912) 215-1255

139 Altama Connector #161 Brunswick, GA 31525

Statement of Authorization: I hereby designate and authorize the above named person to act in my behalf as my agent in the processing of this permit application and to furnish, upon request, supplemental information in support of this application.

Signed by: Smrita J. Patel 3/12/2025  
 Signature of Applicant Date

7. Describe the proposed activity, its purpose and intended use, including a description of the type of structures, if any to be erected on fills, piles, of float-supported platforms, and the type, composition and quantity of materials to be discharged or dumped and means of conveyance. If more space is needed, use remarks section on page 4 or add a supplemental sheet. (See Part III of the Guide for additional information required for certain activities.)

See attached project narrative and drawings.

8. Proposed use: Private ☒ Public ☐ Commercial ☐ Other ☐ (Explain)

9. Names and addresses of adjoining property owners whose property also adjoins the waterway.

See attached project narrative

10. Date activity is proposed to commence. Upon approval  
 Date activity is expected to be completed. Within 5 year

11. Is any portion of the activity for which authorization is sought now complete ☐ Y ☒ N

a. If answer is "Yes", give reasons in the remarks in the remarks section.

Indicate the existing work on the drawings.

b. If the fill or work is existing, indicate date of commencement and completion.

c. If not completed, indicate percentage completed.

12. List of approvals or certifications required by other Federal, State or local agencies for any structures, construction discharges, deposits or other activities described in this application. Please show zoning approval or status of zoning for this project.

<u>Issuing Agency</u>	<u>Type Approval</u>	<u>Identification No.</u>	<u>Date/Application</u>	<u>Date/Approval</u>
GA DNR	CMPA Permit	TBD		TBD

13. Has ~~any~~ agency denied approval for the activity described herein or for any activity directly related to the activity described herein?  
☐ Yes ☒ NO (If "yes", explain).

Note: Items 14 and 15 are to be completed if you want bulkhead, dredge or fill.

14. Description of operation: (If feasible, this information should be shown on the drawing).

a. Purpose of excavation or fill \_\_\_\_\_.

1. Access channel      length \_\_\_\_\_      depth \_\_\_\_\_      width \_\_\_\_\_

2. Boat basin      length \_\_\_\_\_      depth \_\_\_\_\_      width \_\_\_\_\_

3. Fill area      length \_\_\_\_\_      depth \_\_\_\_\_      width \_\_\_\_\_

4. Other \_\_\_\_\_ length \_\_\_\_\_ depth \_\_\_\_\_ width \_\_\_\_\_

(Note: If channel, give reasons for need of dimensions listed above.)

b. If bulkhead, give dimensions \_\_\_\_\_

-- Type of bulkhead construction (material) \_\_\_\_\_

1. Backfill required: Yes \_\_\_\_\_ No \_\_\_\_\_ Cubic yards \_\_\_\_\_

2. Where obtained \_\_\_\_\_

c. Excavated material

1. Cubic yards \_\_\_\_\_

2. Type of material \_\_\_\_\_

15. Type of construction equipment to be used \_\_\_\_\_

a. Does the area to be excavated include any wetland? Yes ☐ No ☐

b Does the disposal area contain any wetland? Yes ☐ No ☐

c. Location of disposal area \_\_\_\_\_

d. Maintenance dredging, estimated amounts, frequency, and disposal sites to be utilized: \_\_\_\_\_

e. Will dredged material be entrapped or encased? \_\_\_\_\_

f. Will wetlands be crossed in transporting equipment to project site? \_\_\_\_\_

g. Present rate of shoreline erosion (if known) \_\_\_\_\_

16. Description of Avoidance, Minimization and Compensation: Provide a brief explanation describing how impacts to waters of the United States are being avoided and minimized on the project site. Also, provide a brief description of how impacts to waters of the United States will be compensated for, or a brief statement explaining why compensatory mitigation should not be required for those impacts.

The proposed project will not require compensatory mitigation.

17. Water Quality Certification: In some cases, Federal law requires that a Water Quality Certification from the State of Georgia be obtained prior to issuance of a Federal license or permit. Applicability of this requirement to any specific project is determined by the permitting Federal agency. The information requested below is generally sufficient for the Georgia Environmental Protection Division to issue such a certification if required. Any item, which is not applicable to a specific project, should be so marked. Additional information will be requested if needed.

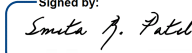
a. Please submit the following:

1. A plan showing the location and size of any facility, existing or proposed, for handling any sanitary or industrial waste waters generally on your property.
2. A plan of the existing or proposed project and your adjacent property for which permits are being requested.
3. A plan showing the location of all points where petro-chemical products (gasoline, oils, cleaners) used and stored. Any aboveground storage areas must be diked, and there should be no storm drain catch basins within the dike areas. All valving arrangements on any petro-chemical transfer lines should be shown.
4. A contingency plan delineating action to be taken by you in the event of spillage of petro-chemical products or other materials from your operation.
5. Plan and profile drawings showing limits of areas to be dredged, areas to be used for placement of spoil, locations of any dikes to be constructed showing locations of any weir(s), and typical cross sections of the dikes.

b. Please provide the following statements:

1. A statement that all activities will be performed in a manner to minimize turbidity in the stream.
2. A statement that there will be no oils or other pollutants released from the proposed activities which will reach the stream.
3. A statement that all work performed during construction will be done in a manner to prevent interference with any legitimate water uses.

18. Application is hereby made for a permit or permits to authorize the activities described herein; Water Quality Certification from the Georgia Environmental Protection Division is also requested if needed. I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities.

Signed by:  
  
30BD4F7AD8BE46A  
Signature of Applicant

19. U.S.C. Section 1001 provides that: Whoever, in any matter within the jurisdiction of any department or agency of the United States, knowingly and willfully falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious, or fraudulent statements or representations, or makes or uses false writing or document knowing same to contain any false, fictitious or fraudulent statement or entry, shall be fined no more than \$10,000 or imprisoned not more than 5 years or both.

#### PRIVACY ACT NOTICE

The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act and Section 103 of the Marine Protection, Research and Sanctuaries Act of 1972. These laws require permits authorizing structures and work in or affecting navigable waters of the United States, the discharge of dredged or fills material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters. Information provided will be used in evaluating the application for a permit. Information in the application is made a matter of public record through issuance of a public notice. Disclosure of the information requested is voluntary; however, the data requested are necessary in order to communicate with the applicant and to evaluate the permit application. If necessary information is not provided, the permit application cannot be processed nor can a permit be issued.

**SUPPORTING REMARKS:**



**U.S. Army Corps of Engineers  
Regulatory Branch, Coastal Area Section  
100 West Oglethorpe Avenue  
Savannah, Georgia 31401-3640**

To Whom It May Concern:

This is to certify the work subject to the jurisdiction of the U.S. Army Corps of Engineers as described in my application dated 3/11/25, is to the best of my knowledge, consistent with the Georgia Management Plan.

Since my project is located in the Coastal Area of Georgia, I understand the U.S. Army Corps of Engineers must provide this statement to the Georgia Department of Natural Resources, Coastal Resources Division, Ecological Services Section (GADNR-CRD) for its review, and a Department of Army permit will not be issued until the GADNR-CRD concurs with my findings. I also understand additional information may be required by the GADNR-CRD to facilitate its review of my project and the additional information certifications may be required for other Federal or State authorizations.

*Signature of Application:*

Signed by:  
*Smita R. Patel*  
3DBD4F7AD8BE46A...

*Date:*

3/11/25

*Printed Name of Applicant:*

Smita R. Patel

*Street Address:*

330 Clipper Bay

*City, State, Zip Code:*

Brunswick, GA 31523

*Phone Number:*

(912) 580-1294

*Fax Number:*

*E-Mail Address:*

**For questions regarding consistency with the Georgia Coastal Management Program,  
Please contact Kelie Moore, GADNR-CRD, (912) 264-7218.**

## Appendix B: Revocable License Request

## Attachments

## Appendix C: Coastal Marina, Community or Commercial Dock Checklist

# Coastal Marina, Community or Commercial Dock Checklist

(fill in the blanks as indicated or answer yes or no)

## LOCATION:

County Glynn Landmarks Oak Grove Island Plantation  
Municipality Brunswick Waterway Buffalo River

## FACILITY:

Facility Type X Private        Public        Commercial        Other         
Dock Space        Leased        Sold        Rented        Other       

Size of Upland Area (sq. ft.) 1.67 Acres Size of Submerged Area (sq. ft.) 1,418

## WATERWAY INFORMATION:

open water        river ☒ creek        basin       

Tidal Range (ft. MLW) 0.19' - 8.48' Water Depth (ft. MLW) 13'  
Channel Width (ft. MLW) 20 feet Depth of Dredging (ft. MLW) na

Distance facility will extend into the waterway beyond MLW 0

## EXISTING OR PLANNED SERVICES IN JURISDICTION:

<u>      </u> boat ramp	<input type="checkbox"/> hoist	<u>      </u> mobile lift	<u>      </u> vessel TV hookup
<u>      </u> railway	<u>      </u> fuel	<u>      </u> propeller repair	<u>      </u> electrical repair
<u>      </u> pump-out vessels	<input type="checkbox"/> hull repair	<u>      </u> engine repair	<u>      </u> vessel electric hookup
<u>      </u> boat building	<u>      </u> ship's store	<u>      </u> dockmaster's office	<u>      </u> fire protection
<u>      </u> restrooms	<u>      </u> showers	<u>      </u> restaurant	<u>      </u> laundromat
<u>      </u> hotel	<u>      </u> # of vehicle parking spaces		<u>      </u> # of trailer parking spaces

## DREDGING/FILLING/ShORELINE STABILIZATION:

No Will dredging be required for the access channel?  
No Will dredging be required for boat basin?  
No Is filling proposed in tidal wetlands?  
No Is filling proposed in open water?  
No Will dredge disposal sites be required?  
No Have future dredge disposal sites been identified?  
No Have future dredge spoil sites been set aside with deeds or easements?  
Yes Is shoreline stabilization proposed? If so, what type? Living shoreline  
No Is the project in or near a US Army Corps of Engineers maintained channel or basin with an authorization depth of 12 feet or greater? (if so, contact the Corps of Engineers)

**HABITAT/WILDLIFE/CULTURAL RESOURCES:** (contact GADNR Wildlife Resources Division, US Fish & Wildlife Service, GADNR Coastal Resources Division- Marine Fisheries, National Marine Fisheries Service OR GADNR Historic Resources)

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NO Is this site located near a wildlife refuge, wilderness area, special management area, or other area specifically located for the protection of fish and wildlife?  
If yes, what is the distance? \_\_\_\_\_

NO \*Is this habitat identified as “essential fish habitat”?

YES Are rare, threatened, endangered or otherwise designated unique or outstanding aquatic or terrestrial species or their habitats known to be present at or near the project site?

NO Do oyster or clam beds occur in or near the project site or access channels?  
If yes, what is the distance? \_\_\_\_\_ If yes, what is the acreage? \_\_\_\_\_

NO \*Is project site near active crabbing areas?

NO \*Is the project site in designated bait zones?

NO Is the project site in or near an area of historic, archeological, or scenic value?  
If yes, explain \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\* GA DNR Coastal Resources Division’s Marine Fisheries staff can direct the applicant to appropriate source materials.

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## Appendix D: Federal Consistency Determination

**FEDERAL CONSISTENCY CERTIFICATION STATEMENT****Printed Name of Applicant(s):** Smita R. Patel**Applicant Email:** primeproperties2005@gmail.com**Phone:** (912) 580-1284**Agent Name (if applicable):** Samuel LaBarba**Phone:** (912) 215-1255

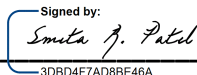
To Whom It May Concern:

This is to certify that I have made application to the U.S. Army Corps of Engineers (USACE) for authorization to impact Waters of the United States and that such proposed work is, to the best of my knowledge, consistent with Georgia's Coastal Management Program.

I understand I must provide this Consistency Certification Statement, along with a copy of my permit application submitted to USACE, to the Georgia Department of Natural Resources Coastal Resources Division (CRD) before they can begin evaluating my proposed project for consistency with Georgia's enforceable policies. I understand additional information may be required to facilitate review.

Once any required authorizations or permits from CRD have been issued, and CRD has concurred with my findings by signing this Consistency Certification Statement, CRD must submit it to USACE in order for them to issue any required federal permits or authorizations, or to validate any provisional authorizations they have already issued. A USACE provisional authorization or permit will not be valid until they receive this Certification Statement signed by CRD.

**☒ Attached is a copy of my application to USACE (required)**

**Signature of Applicant:**  **Date:** 3/12/2025

FOR AGENCY INTERNAL USE ONLY: Date Received (Commencement Date): \_\_\_\_\_

USACE Authorization/Permit Number (assigned by USACE): \_\_\_\_\_

USACE Authorization Type (select one): ☐ Individual Permit ☐ General Permit #\_\_\_\_ ☐ NWP #\_\_\_\_

USACE Project Manager: \_\_\_\_\_

CRD Authorization/Permit Number (assigned by CRD): \_\_\_\_\_

CRD Project Manager: \_\_\_\_\_

**CRD HAS REVIEWED AND CONCURS WITH THIS CONSISTENCY CERTIFICATION STATEMENT TO THE EXTENT THE USACE AUTHORIZED PROJECT DESCRIPTION IS CONSISTENT WITH THE AUTHORIZED PROJECT DESCRIPTION FOR ANY CRD PERMIT ISSUED FOR THIS PROJECT**

**CRD Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Printed Name:** \_\_\_\_\_ **Title:** \_\_\_\_\_

For questions regarding consistency with the Georgia Coastal Management Program, please contact the Federal Consistency Coordinator at (912) 264-7218 or visit [www.CoastalGADNR.org](http://www.CoastalGADNR.org).



## Appendix E: CMTA Jurisdiction Verification Letter



COASTAL RESOURCES DIVISION  
ONE CONSERVATION WAY · BRUNSWICK, GA 31520 · 912-264-7218

WALTER RABON  
COMMISSIONER

DOUG HAYMANS  
DIRECTOR

November 6, 2024

Smita R. Patel  
P.O. Box 1432  
Brunswick, GA 31521

**Re: Coastal Marshlands Protection Act (CMPA), Jurisdictional Determination Verification, 330 Clipper Bay, Buffalo River, Oak Grove Island, Brunswick, Glynn County, Georgia.**

Dear Mr. Patel:

Our office received the survey and plat, dated October 10, 2024, prepared by Bennett Surveying, Inc., No. 2893 entitled "*Map to Show Specific Purpose Survey of: Lot 550 Oak Grove Island Plantation, Phase Three, 1356<sup>th</sup> G.M.D., Glynn County, Georgia*" prepared for Smita R. Patel. Based on my site inspection, on October 4, 2024, this plat and survey generally depict the delineation of the coastal marshlands boundary as required by the State of Georgia for jurisdiction under the authority of the Coastal Marshlands Protection Act O.C.G.A. § 12-5-280 et seq.

The Coastal Marshlands Protection Act O.C.G.A. § 12-5-280 et seq. delineation of this parcel is subject to change due to environmental conditions and legislative enactments. This jurisdiction line is valid for one year from date of the delineation. It will normally expire on October 4, 2025 but may be voided should legal and/or environmental conditions change.

This letter does not relieve you of the responsibility of obtaining other state, local, or federal permission relative to the site. Authorization by the Coastal Marshlands Protection Committee or this Department is required prior to any construction or alteration in the marsh jurisdictional area. We appreciate you providing us with this information for our records. If you have any questions, please contact me at (912) 689-6261.

Sincerely,

Paul Tobler  
Coastal Permit Coordinator  
Marsh and Shore Management Program

Enclosure: *Map to Show Specific Purpose Survey of: Lot 550 Oak Grove Island Plantation, Phase Three, 1356<sup>th</sup> G.M.D., Glynn County, Georgia*

File: JDS20240300



## Appendix F: Pre-Construction Notification



U.S. Army Corps of Engineers (USACE) <b>NATIONWIDE PERMIT PRE-CONSTRUCTION NOTIFICATION (PCN)</b> 33 CFR 330. The proponent agency is CECW-CO-R.		Form Approved - OMB No. 0710-0003 Expires: 02-28-2022	
<b>DATA REQUIRED BY THE PRIVACY ACT OF 1974</b>			
<b>Authority</b>		Rivers and Harbors Act, Section 10, 33 USC 403; Clean Water Act, Section 404, 33 USC 1344; Regulatory Program of the Corps of Engineers (Corps); Final Rule 33 CFR 320-332.	
<b>Principal Purpose</b>		Information provided on this form will be used in evaluating the nationwide permit pre-construction notification.	
<b>Routine Uses</b>		This information may be shared with the Department of Justice and other federal, state, and local government agencies, and the public and may be made available as part of the agency coordination process.	
<b>Disclosure</b>		Submission of requested information is voluntary, however, if information is not provided the permit application cannot be evaluated nor can a permit be issued.	
The public reporting burden for this collection of information, 0710-0003, is estimated to average 11 hours per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding the burden estimate or burden reduction suggestions to the Department of Defense, Washington Headquarters Services, at <a href="mailto:whs.mc-alex.esd.mbx.dd-dod-information-collections@mail.mil">whs.mc-alex.esd.mbx.dd-dod-information-collections@mail.mil</a> . Respondents should be aware that notwithstanding any other provision of law, no person shall be subject to any penalty for failing to comply with a collection of information if it does not display a currently valid OMB control number.			
<b>PLEASE DO NOT RETURN YOUR RESPONSE TO THE ABOVE EMAIL.</b>			
One set of original drawings or good reproducible copies which show the location and character of the proposed activity must be attached to this application ( <i>see sample drawings and/or instructions</i> ) and be submitted to the district engineer having jurisdiction over the location of the proposed activity. An application that is not completed in full will be returned.			
<b>(ITEMS 1 THRU 4 TO BE FILLED BY THE CORPS)</b>			
1. APPLICATION NO.	2. FIELD OFFICE CODE	3. DATE RECEIVED	4. DATE APPLICATION COMPLETE
<b>(ITEMS BELOW TO BE FILLED BY APPLICANT)</b>			
5. APPLICANT'S NAME First - Smita Middle - R Last - Patel Company - Company Title - E-mail Address - primeproperties2005@gmail.com		8. AUTHORIZED AGENT'S NAME AND TITLE ( <i>agent is not required</i> ) First - Samuel Middle - Last - LaBarba Company - Labarba Environmental Services E-mail Address - sam@labarbaenvironmentalservices.com	
6. APPLICANT'S ADDRESS Address- 330 Clipper Bay. City - Brunswick State - GA Zip - 31523 Country - US		9. AGENT'S ADDRESS Address- 139 Altama Connector #161 City - Brunswick State - GA Zip - 31525 Country - US	
7. APPLICANT'S PHONE NOs. with AREA CODE a. Residence b. Business c. Fax d. Mobile (912) 580-1284		10. AGENT'S PHONE NOs. with AREA CODE a. Residence b. Business c. Fax d. Mobile (912) 215-1255	
<b>STATEMENT OF AUTHORIZATION</b>			
11. I hereby authorize, Samuel LaBarba to act in my behalf as my agent in the processing of this nationwide permit pre-construction notification and to furnish, upon request, supplemental information in support of this nationwide permit pre-construction notification.			
Signed by:  SIGNATURE OF APPLICANT		3/12/2025 DATE	
<b>NAME, LOCATION, AND DESCRIPTION OF PROJECT OR ACTIVITY</b>			
12. PROJECT NAME or TITLE ( <i>see instructions</i> ) LES128 - Patel Living Shoreline			

NAME, LOCATION, AND DESCRIPTION OF PROJECT OR ACTIVITY			
13. NAME OF WATERBODY, IF KNOWN <i>(if applicable)</i> Buffalo River		14. PROPOSED ACTIVITY STREET ADDRESS <i>(if applicable)</i> 330 Clipper Bay.	
15. LOCATION OF PROPOSED ACTIVITY <i>(see instructions)</i> Latitude                      °N                      Longitude                      °W 31.229464°                      -81.588824°		City: Brunswick	State:    Zip: GA      31523
16. OTHER LOCATION DESCRIPTIONS, IF KNOWN <i>(see instructions)</i> State Tax Parcel ID                      Municipality 03-13652                      Brunswick  Section                      Township                      Range			
17. DIRECTIONS TO THE SITE Use 330 Clipper Bay, Brunswick, GA with Google Maps.			
18. IDENTIFY THE SPECIFIC NATIONWIDE PERMIT(S) YOU PROPOSE TO USE NWP 54			
19. DESCRIPTION OF PROPOSED NATIONWIDE PERMIT ACTIVITY <i>(see instructions)</i> Constructing a living shoreline.			
20. DESCRIPTION OF PROPOSED MITIGATION MEASURES <i>(see instructions)</i> Mitigation is not required for this project. BMP's will be used throughout the project to ensure minimal impact to the Buffalo River.			
21. PURPOSE OF NATIONWIDE PERMIT ACTIVITY <i>(Describe the reason or purpose of the project, see instructions)</i> Construction of a new living shoreline for shoreline stabilization.			
22. QUANTITY OF WETLANDS, STREAMS, OR OTHER TYPES OF WATERS DIRECTLY AFFECTED BY PROPOSED NATIONWIDE PERMIT ACTIVITY <i>(see instructions)</i>			
Acres 0.03 acre	Linear Feet 337	Cubic Yards Dredged or Discharged 40	
<b>Each PCN must include a delineation of wetlands, other special aquatic sites, and other waters, such as lakes and ponds, and perennial, intermittent, and ephemeral streams, on the project site.</b>			
23. List any other NWP(s), regional general permit(s), or individual permit(s) used or intended to be used to authorize any part of the proposed project or any related activity. <i>(see instructions)</i> None			
24. If the proposed activity will result in the loss of greater than 1/10-acre of wetlands and requires pre-construction notification, explain how the compensatory mitigation requirement in paragraph (c) of general condition 23 will be satisfied, or explain why the adverse environmental effects are no more than minimal and why compensatory mitigation should not be required for the proposed activity. The proposed activity will not result in the loss of greater than 1/10th of an acre of wetlands.			



<p>25. Is any portion of the nationwide permit activity already complete?</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>If Yes, describe the completed work:</p>
<p>26. List the name(s) of any species listed as endangered or threatened under the Endangered Species Act that might be affected by the proposed NWP activity or utilize the designated critical habitat that might be affected by the proposed NWP activity. (see instructions)</p> <p>See attached EDGES Forms.</p>		
<p>27. List any historic properties that have the potential to be affected by the proposed NWP activity or include a vicinity map indicating the location of the historic property or properties. (see instructions)</p> <p>See the attached National Register map. This project is not in the vicinity of any historic properties.</p>		
<p>28. For a proposed NWP activity that will occur in a component of the National Wild and Scenic River System, or in a river officially designated by Congress as a "study river" for possible inclusion in the system while the river is in an official study status, identify the Wild and Scenic River or the "study river":</p> <p>NA</p>		
<p>29. If the proposed NWP activity also requires permission from the Corps pursuant to 33 U.S.C. 408 because it will alter or temporarily or permanently occupy or use a U.S. Army Corps of Engineers federally authorized civil works project, have you submitted a written request for section 408 permission from the Corps district having jurisdiction over that project?</p> <p style="text-align: center;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If "yes", please provide the date your request was submitted to the Corps district:</p>		
<p>30. If the terms of the NWP(s) you want to use require additional information to be included in the PCN, please include that information in this space or provide it on an additional sheet of paper marked Block 30. (see instructions)</p> <p>See attached application documents.</p>		
<p>31. Pre-construction notification is hereby made for one or more nationwide permit(s) to authorize the work described in this notification. I certify that the information in this pre-construction notification is complete and accurate. I further certify that I possess the authority to undertake the work described herein or am acting as the duly authorized agent of the applicant.</p>		
<p>Signed by:</p> <p><u>Smrita J. Patel</u></p>	<p>3/12/2025</p>	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><u>[Signature]</u></p> </div> <div style="width: 45%;"> <p><u>[Signature]</u></p> </div> </div>
<p>SIGNATURE OF APPLICANT</p>	<p>DATE</p>	<p>SIGNATURE OF AGENT</p>
<p>DATE</p>	<p>3/11/25</p>	
<p>The pre-construction notification must be signed by the person who desires to undertake the proposed activity (applicant) and, if the statement in Block 11 has been filled out and signed, the authorized agent.</p>		
<p>18 U.S.C. Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry, shall be fined not more than \$10,000 or imprisoned not more than five years or both.</p>		

**Instructions for Preparing a  
Department of the Army  
Nationwide Permit (NWP) Pre-Construction Notification (PCN)**

**Blocks 1 through 4.** To be completed by the Corps of Engineers.

**Block 5. Applicant's Name.** Enter the name and the e-mail address of the responsible party or parties. If the responsible party is an agency, company, corporation, or other organization, indicate the name of the organization and responsible officer and title. If more than one party is associated with the preconstruction notification, please attach a sheet of paper with the necessary information marked Block 5.

**Block 6. Address of Applicant.** Please provide the full address of the party or parties responsible for the PCN. If more space is needed, attach an extra sheet of paper marked Block 6.

**Block 7. Applicant's Telephone Number(s).** Please provide the telephone number where you can usually be reached during normal business hours.

**Blocks 8 through 11.** To be completed, if you choose to have an agent.

**Block 8. Authorized Agent's Name and Title.** Indicate name of individual or agency, designated by you, to represent you in this process. An agent can be an attorney, builder, contractor, engineer, consultant, or any other person or organization. Note: An agent is not required.

**Blocks 9 and 10. Agent's Address and Telephone Number.** Please provide the complete mailing address of the agent, along with the telephone number where he / she can be reached during normal business hours.

**Block 11. Statement of Authorization.** To be completed by the applicant, if an agent is to be employed.

**Block 12. Proposed Nationwide Permit Activity Name or Title.** Please provide a name identifying the proposed NWP activity, e.g., Windward Marina, Rolling Hills Subdivision, or Smith Commercial Center.

**Block 13. Name of Waterbody.** Please provide the name (if it has a name) of any stream, lake, marsh, or other waterway to be directly impacted by the NWP activity. If it is a minor (no name) stream, identify the waterbody the minor stream enters.

**Block 14. Proposed Activity Street Address.** If the proposed NWP activity is located at a site having a street address (not a box number), please enter it in Block 14.

**Block 15. Location of Proposed Activity.** Enter the latitude and longitude of where the proposed NWP activity is located. Indicate whether the project location provided is the center of the project or whether the project location is provided as the latitude and longitude for each of the "corners" of the project area requiring evaluation. If there are multiple sites, please list the latitude and longitude of each site (center or corners) on a separate sheet of paper and mark as Block 15.

**Block 16. Other Location Descriptions.** If available, provide the Tax Parcel Identification number of the site, Section, Township, and Range of the site (if known), and / or local Municipality where the site is located.

**Block 17. Directions to the Site.** Provide directions to the site from a known location or landmark. Include highway and street numbers as well as names. Also provide distances from known locations and any other information that would assist in locating the site. You may also provide a description of the location of the proposed NWP activity, such as lot numbers, tract numbers, or you may choose to locate the proposed NWP activity site from a known point (such as the right descending bank of Smith Creek, one mile downstream from the Highway 14 bridge). If a large river or stream, include the river mile of the proposed NWP activity site if known. If there are multiple locations, please indicate directions to each location on a separate sheet of paper and mark as Block 17.

**Block 18. Identify the Specific Nationwide Permit(s) You Propose to Use.** List the number(s) of the Nationwide Permit(s) you want to use to authorize the proposed activity (e.g., NWP 29).

**Block 19. Description of the Proposed Nationwide Permit Activity.** Describe the proposed NWP activity, including the direct and indirect adverse environmental effects the activity would cause. The description of the proposed activity should be sufficiently detailed to allow the district engineer to determine that the adverse environmental effects of the activity will be no more than minimal. Identify the materials to be used in construction, as well as the methods by which the work is to be done.

Provide sketches when necessary to show that the proposed NWP activity complies with the terms of the applicable NWP(s). Sketches usually clarify the activity and result in a quicker decision. Sketches should contain sufficient detail to provide an illustrative description of the proposed NWP activity (e.g., a conceptual plan), but do not need to be detailed engineering plans.

The written descriptions and illustrations are an important part of the application. Please describe, in detail, what you wish to do. If more space is needed, attach an extra sheet of paper marked Block 19.



**Block 20. Description of Proposed Mitigation Measures.** Describe any proposed mitigation measures intended to reduce the adverse environmental effects caused by the proposed NWP activity. The description of any proposed mitigation measures should be sufficiently detailed to allow the district engineer to determine that the adverse environmental effects of the activity will be no more than minimal and to determine the need for compensatory mitigation or additional mitigation measures.

**Block 21. Purpose of Nationwide Permit Activity.** Describe the purpose and need for the proposed NWP activity. What will it be used for and why? Also include a brief description of any related activities associated with the proposed project. Provide the approximate dates you plan to begin and complete all work.

**Block 22. Quantity of Wetlands, Streams, or Other Types of Waters Directly Affected by the Proposed Nationwide Permit Activity.** For discharges of dredged or fill material into waters of the United States, provide the amount of wetlands, streams, or other types of waters filled, flooded, excavated, or drained by the proposed NWP activity. For structures or work in navigable waters of the United States subject to Section 10 of the Rivers and Harbors Act of 1899, provide the amount of navigable waters filled, dredged, or occupied by one or more structures (e.g., aids to navigation, mooring buoys) by the proposed NWP activity.

For multiple NWPs, or for separate and distant crossings of waters of the United States authorized by NWPs 12 or 14, attach an extra sheet of paper marked Block 21 to provide the quantities of wetlands, streams, or other types of waters filled, flooded, excavated, or drained (or dredged or occupied by structures, if in waters subject to Section 10 of the Rivers and Harbors Act of 1899) for each NWP. For NWPs 12 and 14, include the amount of wetlands, streams, or other types of waters filled, flooded, excavated, or drained for each separate and distant crossing of waters or wetlands. If more space is needed, attach an extra sheet of paper marked Block 22.

**Block 23. Identify Any Other Nationwide Permit(s), Regional General Permit(s), or Individual Permit(s) Used to Authorize Any Part of Proposed Activity or Any Related Activity.** List any other NWP(s), regional general permit(s), or individual permit(s) used or intended to be used to authorize any part of the proposed project or any related activity. For linear projects, list other separate and distant crossings of waters and wetlands authorized by NWPs 12 or 14 that do not require PCNs. If more space is needed, attach an extra sheet of paper marked Block 23.

**Block 24. Compensatory Mitigation Statement for Losses of Greater Than 1/10-Acre of Wetlands When Pre-Construction Notification is Required.** Paragraph (c) of NWP general condition 23 requires compensatory mitigation at a minimum one-for-one replacement ratio will be required for all wetland losses that exceed 1/10-acre and require pre-construction notification, unless the district engineer determines in writing that either some other form of mitigation is more environmentally appropriate or the adverse environmental effects of the proposed NWP activity are no more than minimal without compensatory mitigation, and provides an activity-specific waiver of this requirement. Describe the proposed compensatory mitigation for wetland losses greater than 1/10 acre, or provide an explanation of why the district engineer should not require wetland compensatory mitigation for the proposed NWP activity. If more space is needed, attach an extra sheet of paper marked Block 24.

**Block 25. Is Any Portion of the Nationwide Permit Activity Already Complete?** Describe any work that has already been completed for the NWP activity.

**Block 26. List the Name(s) of Any Species Listed As Endangered or Threatened under the Endangered Species Act that Might be Affected by the Nationwide Permit Activity.** If you are not a federal agency, and if any listed species or designated critical habitat might be affected or is in the vicinity of the proposed NWP activity, or if the proposed NWP activity is located in designated critical habitat, list the name(s) of those endangered or threatened species that might be affected by the proposed NWP activity or utilize the designated critical habitat that might be affected by the proposed NWP activity. If you are a Federal agency, and the proposed NWP activity requires a PCN, you must provide documentation demonstrating compliance with Section 7 of the Endangered Species Act.

**Block 27. List Any Historic Properties that Have the Potential to be Affected by the Nationwide Permit Activity.** If you are not a Federal agency, and if any historic properties have the potential to be affected by the proposed NWP activity, list the name(s) of those historic properties that have the potential to be affected by the proposed NWP activity. If you are a Federal agency, and the proposed NWP activity requires a PCN, you must provide documentation demonstrating compliance with Section 106 of the National Historic Preservation Act.

**Block 28. List the Wild and Scenic River or Congressionally Designated Study River if the Nationwide Permit Activity Would Occur in such a River.** If the proposed NWP activity will occur in a river in the National Wild and Scenic River System or in a river officially designated by Congress as a "study river" under the Wild and Scenic Rivers Act, provide the name of the river. For a list of Wild and Scenic Rivers and study rivers, please visit <http://www.rivers.gov/>.

**Block 29. Nationwide Permit Activities that also Require Permission from the Corps Under 33 U.S.C. 408.** If the proposed NWP activity also requires permission from the Corps under 33 U.S.C. 408 because it will temporarily or permanently alter, occupy, or use a Corps federal authorized civil works project, indicate whether you have submitted a written request for section 408 permission from the Corps district having jurisdiction over that project.

**Block 30. Other Information Required For Nationwide Permit Pre-Construction Notifications.** The terms of some of the Nationwide Permits include additional information requirements for preconstruction notifications:

- \* NWP 3, Maintenance –information regarding the original design capacities and configurations of the outfalls, intakes, small impoundments, and canals.
- \* NWP 31, Maintenance of Existing Flood Control Facilities –a description of the maintenance baseline and the dredged material disposal site.
- \* NWP 33, Temporary Construction, Access, and Dewatering –a restoration plan showing how all temporary fills and structures will be removed and the area restored to pre-project conditions.
- \* NWP 44, Mining Activities –if reclamation is required by other statutes, then a copy of the final reclamation plan must be submitted with the pre-construction notification.
- \* NWP 45, Repair of Uplands Damaged by Discrete Events –documentation, such as a recent topographic survey or photographs, to justify the extent of the proposed restoration.
- \* NWP 48, Commercial Shellfish Aquaculture Activities –(1) a map showing the boundaries of the project area, with latitude and longitude coordinates for each corner of the project area; (2) the name(s) of the species that will be cultivated during the period this NWP is in effect; (3) whether canopy predator nets will be used; (4) whether suspended cultivation techniques will be used; and (5) general water depths in the project area (a detailed survey is not required).
- \* NWP 49, Coal Remining Activities –a document describing how the overall mining plan will result in a net increase in aquatic resource functions must be submitted to the district engineer and receive written authorization prior to commencing the activity.
- \* NWP 50, Underground Coal Mining Activities –if reclamation is required by other statutes, then a copy of the reclamation plan must be submitted with the pre-construction notification.

If more space is needed, attach an extra sheet of paper marked Block 30.

**Block 31. Signature of Applicant or Agent.** The PCN must be signed by the person proposing to undertake the NWP activity, and if applicable, the authorized party (agent) that prepared the PCN. The signature of the person proposing to undertake the NWP activity shall be an affirmation that the party submitting the PCN possesses the requisite property rights to undertake the NWP activity (including compliance with special conditions, mitigation, etc.).

#### **DELINEATION OF WETLANDS, OTHER SPECIAL AQUATIC SITES, AND OTHER WATERS**

Each PCN must include a delineation of wetlands, other special aquatic sites, and other waters, such as lakes and ponds, and perennial, intermittent, and ephemeral streams, on the project site. Wetland delineations must be prepared in accordance with the current wetland delineation manual and regional supplement published by the Corps. The permittee may ask the Corps to delineate the special aquatic sites and other waters on the project site, but there may be a delay if the Corps does the delineation, especially if the project site is large or contains many wetlands, other special aquatic sites, and other waters. The 45 day PCN review period will not start until the delineation is submitted or has been completed by the Corps.

#### **DRAWINGS AND ILLUSTRATIONS**

##### **General Information.**

Three types of illustrations are needed to properly depict the work to be undertaken. These illustrations or drawings are identified as a Vicinity Map, a Plan View or a Typical Cross-Section Map. Identify each illustration with a figure or attachment number. For linear projects (e.g. roads, subsurface utility lines, etc.) gradient drawings should also be included. Please submit one original, or good quality copy, of all drawings on 8½x11 inch plain white paper (electronic media may be substituted). Use the fewest number of sheets necessary for your drawings or illustrations. Each illustration should identify the project, the applicant, and the type of illustration (vicinity map, plan view, or cross-section). While illustrations need not be professional (many small, private project illustrations are prepared by hand), they should be clear, accurate, and contain all necessary information.

#### **ADDITIONAL INFORMATION AND REQUIREMENTS**

For proposed NWP activities that involve discharges into waters of the United States, water quality certification from the State, Tribe, or EPA must be obtained or waived (see NWP general condition 25). Some States, Tribes, or EPA have issued water quality certification for one or more NWPs. Please check the appropriate Corps district web site to see if water quality certification has already been issued for the NWP(s) you wish to use. For proposed NWP activities in coastal states, state Coastal Zone Management Act consistency concurrence must be obtained, or a presumption of concurrence must occur (see NWP general condition 26). Some States have issued Coastal Zone Management Act consistency concurrences for one or more NWPs. Please check the appropriate Corps district web site to see if Coastal Zone Management Act consistency concurrence has already been issued for the NWP(s) you wish to use.

## Appendix H: Property Ownership Documentation



Deed Book 3942 Page 41, Filed and Recorded 09/14/2018 at 03:36:00 PM  
CFN #632018010056 Ronald M. Adams Clerk of Superior Court Glynn  
County, GA

After recording, return to:  
WILLIAM T. LIGON, JR., P.C.  
158 SCRANTON CONNECTOR  
BRUNSWICK, GA 31525

STATE OF GEORGIA  
COUNTY OF GLYNN

WARRANTY DEED

THIS INDENTURE is made as of the 13th day of September, 2018, between **RAJESHKUMAR N. PATEL** (hereinafter referred to as "Grantor") and **SMITA R. PATEL** (hereinafter referred to as "Grantee") ("Grantor" and "Grantee" to include their respective heirs, successors, executors, administrators, legal representatives and assigns where the context requires or permits).

WITNESSETH

GRANTOR, in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other valuable consideration, the receipt and sufficiency whereof are hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and does hereby grant, bargain, sell, alien, convey and confirm unto Grantee all that tract or parcel of land lying and being in GLYNN County, Georgia (hereinafter referred to as the "Land") as more particularly described in the attached Exhibit "A," which Exhibit is incorporated herein.

TO HAVE AND TO HOLD the Land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of Grantee forever in FEE SIMPLE; subject only to covenants, restrictions, easements of record and taxes for the current year.

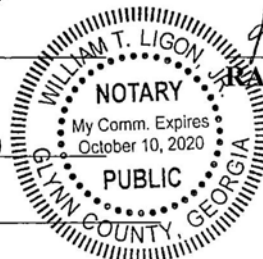
AND GRANTOR WILL WARRANT and forever defend the right and title to the Land unto Grantee against the claims of all persons whomsoever, except for claims arising under or by virtue of the Permitted Exceptions.

EXECUTED under seal as of the date above.

Signed, sealed and delivered in the presence of: GRANTOR:

*[Signature]*  
Unofficial Witness

*[Signature]*  
Notary Public  
Commission Expiration Date \_\_\_\_\_



*[Signature]*  
**RAJESHKUMAR N. PATEL**

**EXHIBIT "A"**

All of that certain lot, tract or parcel of land situate, lying and being in Glynn County, Georgia, the herein described property being shown according to a recorded map and plan of Oak Grove Island Plantation Subdivision, Phase III, as prepared by Shupe Surveying Company, P.C., GRLS No. 2224, dated June 27, 1994 and recorded in the Office of the Clerk of Superior Court of Glynn County, Georgia, in Plat Drawer 22, Map No. 358, as all of lot numbered 550, Phase III, Oak Grove Island Plantation Subdivision.

Reference is hereby made to said map and plan, said deed and to the record of each for the purposes of establishing the dimensions and location of said lot and for all other purposes.

Also conveyed herewith is a perpetual non-exclusive easement for ingress and egress over and upon the private streets and roadways as shown and depicted upon the recorded maps and plans of all phases of Oak Grove Island Plantation Subdivision.

The above property is conveyed subject to that certain Declaration of Restrictions, Covenants, Limitations, Conditions, Reservations and Easements imposed upon all lots in said subdivision by Declaration dated December 8, 1987 and recorded in said Clerk's Office in Deed Book 30-C, Page 428, and amended in Deed Book 36-P, Page 337; Deed Book 53-U, Page 5; Deed Book 53-X, Page 97; Deed Book 58-V, Page 70; Deed Book 541, Page 603; Deed Book 651, Page 605; Deed Book 609, Page 681; Deed Book 674, Page 442; and Deed Book 733, Page 7.

The said property is conveyed subject to the restrictive covenants described above and that the owners of all lots in said subdivisions automatically become members of the Oak Grove Island Plantation Property Owners Association, Inc., a non-profit corporation and that the property conveyed herein is subject to an annual assessment from said owners association, Said property herein is also conveyed subject to the current year's ad valorem property taxes and upon all of the easements and matters shown and recorded upon the map and plan of said subdivision.

PARCEL # 03-13652

Deed Book 3942 Page 27, Filed and Recorded 09/14/2018 at 03:34:00 PM  
CFN #632018010054 Real Estate Transfer Tax \$725.00 Ronald M. Adams  
Clerk of Superior Court Glynn County, GA

Prepared by/Return to:  
The Ligon Firm, P.C.  
158 Scranton Connector  
Brunswick, GA 31525

STATE OF  
COUNTY OF

### SPECIAL WARRANTY DEED

THIS INDENTURE, made the 13 day of September, 2018, between **MARK A. DURRENCE & LINDA G. DURRENCE** as Party of the First Part, hereinafter called Grantor, and **RAJESHKUMARN.PATEL & SMITA R. PATEL** as Party of the Second Part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

#### WITNESSETH:

That Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledge, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant ,bargain, sell and convey to Grantee as joint tenants with right of survivorship, and not as tenants in common, for and during their joint lives, and upon the death of either them, then to survivor of them, the following described real property, to-wit

All of that certain lot, tract or parcel of land situate, lying and being in Glynn County, Georgia, the herein described property being shown according to a recorded map and plan of Oak Grove Island Plantation Subdivision, Phase III, as prepared by Shupe Surveying Company, P.C., GRLS No. 2224, dated June 27, 1994 and recorded in the Office of the Clerk of Superior Court of Glynn County, Georgia, in Plat Drawer 22, Map No. 358, as all of lot numbered 550, Phase III, Oak Grove Island Plantation Subdivision.

Reference is hereby made to said map and plan, said deed and to the record of each for the purposes of establishing the dimensions and location of said lot and for all other purposes.

Also conveyed herewith is a perpetual non-exclusive easement for ingress and egress over and upon the private streets and roadways as shown and depicted upon the recorded maps and plans of all phases of Oak Grove Island Plantation Subdivision.

The above property is conveyed subject to that certain Declaration of Restrictions, Covenants, Limitations, Conditions, Reservations and Easements imposed upon all lots in said subdivision by Declaration dated December 8, 1987 and recorded in said Clerk's Office in Deed Book 30-C, Page 428, and amended in Deed Book 36-P, Page 337; Deed Book 53-U, Page 5; Deed Book 53-X, Page 97; Deed Book 58-V, Page 70; Deed Book 541, Page 603; Deed Book 651, Page 605; Deed Book 609, Page 681; Deed Book 674, Page 442; and Deed Book 733, Page 7.

The said property is conveyed subject to the restrictive covenants described above and that the owners of all lots in said subdivisions automatically become members of the Oak Grove Island Plantation Property Owners Association, Inc., a non-profit corporation and that the property conveyed herein is subject to an annual assessment from said owners association, Said property herein is also conveyed subject to the current year's ad valorem property taxes and upon all of the easements and matters shown and recorded upon the map and plan of said subdivision.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee FOREVER IN FEE SIMPLE; excepting the following when applicable: 1) zoning ordinances; 2) utility easements; and 3) restrictions, reservations, conditions and limitations imposed upon the use of said property.

AND THE SAID Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good, right and lawful authority to sell and convey said land; that the Grantor hereby specially warrants the title to said land by, through and under said Grantor and no others and will defend the same against the lawful claims of all persons, arising by, through or under the

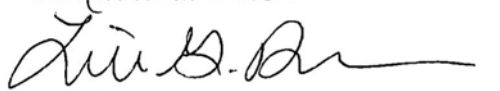
Grantor and no others.

Wherever used herein the singular member shall include the plural; the plural, the singular and the use of any gender shall include all genders.


IN WITNESS WHEREOF, the Grantor has signed and sealed this deed the 13 day of September 2018.

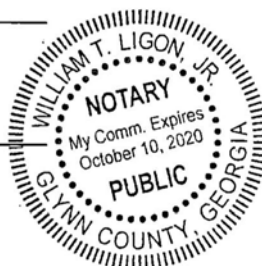
Signed, sealed and delivered on this 13 day of September, 2018 in the presence of:

  
MARK A. DURRENCE

  
LINDA G. DURRENCE

  
Witness

  
Notary Public





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Query Made: 2/4/2025 3:45:00 PM

County	Instrument Type	Date Filed	Time	Book	Page
GLYNN	WARRANTY DEED	9/14/2018	3:34 PM	3942	27

Description not warranted

TT 725.00

Sec/GMD	District	Land Lot	Subdivision	Unit	Block	Lot	Comment
			OAK GROVE ISLAND PLANTAT			550	PHASE III

Grantor

DURRENCE, LINDA G

DURRENCE, MARK A

Grantee

PATEL, RAJESHKUMAR N

PATEL, SMITA R

Cross-Referenced Instruments

PLAT BOOK 22, PAGE 358

PT61 E-FILING PT-61 063-2018-003489

This record was added to the statewide Deed database index on 9/18/2018 2:00:04 AM

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Query Made: 2/4/2025 3:38:21 PM

County	Instrument Type	Date Filed	Time	Book	Page
GLYNN	WARRANTY DEED	9/14/2018	3:36 PM	3942	41

Description not warranted

TT 0.00

Sec/GMD	District	Land Lot	Subdivision	Unit	Block	Lot	Comment
			OAK GROVE ISLAND PLANTAT			550	PHASE III

Grantor

PATEL, RAJESHKUMAR N

Grantee

PATEL, SMITA R

Cross-Referenced Instruments

PLAT BOOK 22, PAGE 358

PT61 E-FILING PT-61 063-2018-003490

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# Glynn County, GA

## Summary

Parcel Number	03-13652
Tax District	CENTRAL GLYNN (District 03)
Alias	
Location Address	330 CLIPPER BAY BRUNSWICK, GA 31523
Millage Rate	25.079
Legal Description	550 OAK GROVE ISLAND PLANTATION
Subdivision	OAK GROVE ISLAND PLANTATION
Documents	PD 22, Pg 297,194; DB 5-K, Pg 554-561
Class Code	R3 - Residential Lots (Note: This is for tax purposes only. Not to be used for zoning.)
Neighborhood	Oak Grove River Front (Code: 307D)
Zoning	PDG
Map# Block-Lot	0110-00 000-012
Property Class	SFR
Homestead Exemption	Yes
GIS Mapped acres	1.78
Elementary School	Sterling
Middle School	Jane Macon
High School	Brunswick High School
Commissioner District	DISTRICT 1 - SAMMY TOSTENSEN, Phone (912) 269-0470 <a href="mailto:stostensen@glynncounty-ga.gov">stostensen@glynncounty-ga.gov</a>

View Map

## Owner

[PATEL SMITA R](#)  
PO BOX 1432  
BRUNSWICK, GA 31521

## Value Information

Assessed Year		2024
Land Value	+	\$312,500.00
Improvement Value	+	\$607,900.00
Total Value	=	\$920,400.00
Assessed Land Value	+	\$125,000.00
Assessed Improvement Value	+	\$243,160.00
Assessed Total Value	+	\$368,160.00

## Improvement Information

Building Use	SINGLE FAMILY DWELLING, PLATTED LOT	Stories	2
Style	Colonial	Roof Cover	ASPHALT SHINGLE
Heated Sq Ft	4584	Flooring Type	CARPET
Interior Walls	Drywall	Heating Type	COOL / HEATED AIR
Exterior Walls	STUCCO	Rooms/Bedrooms/Bathrooms	12 / 4 / 5
Year Built	1995	Number of Fireplaces	1

## Accessory Information

### Card 1

Type	Length x Width	Area	Year Built
SW-GN	20 x 40	800	1994
RDO	1 x 1800	1,800	1994
CIP	1 x 1	1	2019

## Additions

### Card 1

Line	Lower	First	Second	Third	Area
0		MG2 - MAIN GRD 2 STORY			1509
1		OFP - OPEN FRAME PORCH			408
2		OP3 - OPEN FRM PRCH 3 STRY			324
4		DAF - DWLG ADDN FRAME			816
5	AGF - GARAGE-FRAME				1575
6	DAF - DWLG ADDN FRAME				750

Sale/Transfer Information

Date	Deed Book and Page	Price	Deed Type	Grantor
9/13/2018	3942-27	\$725,000.00		DURRENCE MARK A
9/13/2018	3942-41	\$0.00		PATEL RAJESHKUMAR N.
12/29/2014	3386-50	\$775,000.00		PEEDE PAULA S AS TRUSTEE
4/30/2010	2713-93	\$0.00		PEEDE J EDWARD
6/16/2008	2465-305	\$0.00		PEEDE PAULA S
2/23/2007	2170-443	\$0.00		PEEDE J EDWARD
2/23/2007	2170-469	\$0.00		PEEDE J EDWARD
2/23/2004	1367-359	\$0.00		PEEDE PAULA S
2/23/2004	1367-379	\$0.00		PEEDE J EDWARD
10/1/2001	-	\$750,000.00		

2024 Notice of Assessment

[2024 Notice of Assessment \(PDF\)](#)

View/Pay Tax Bills

[View/Pay Tax Bills](#)

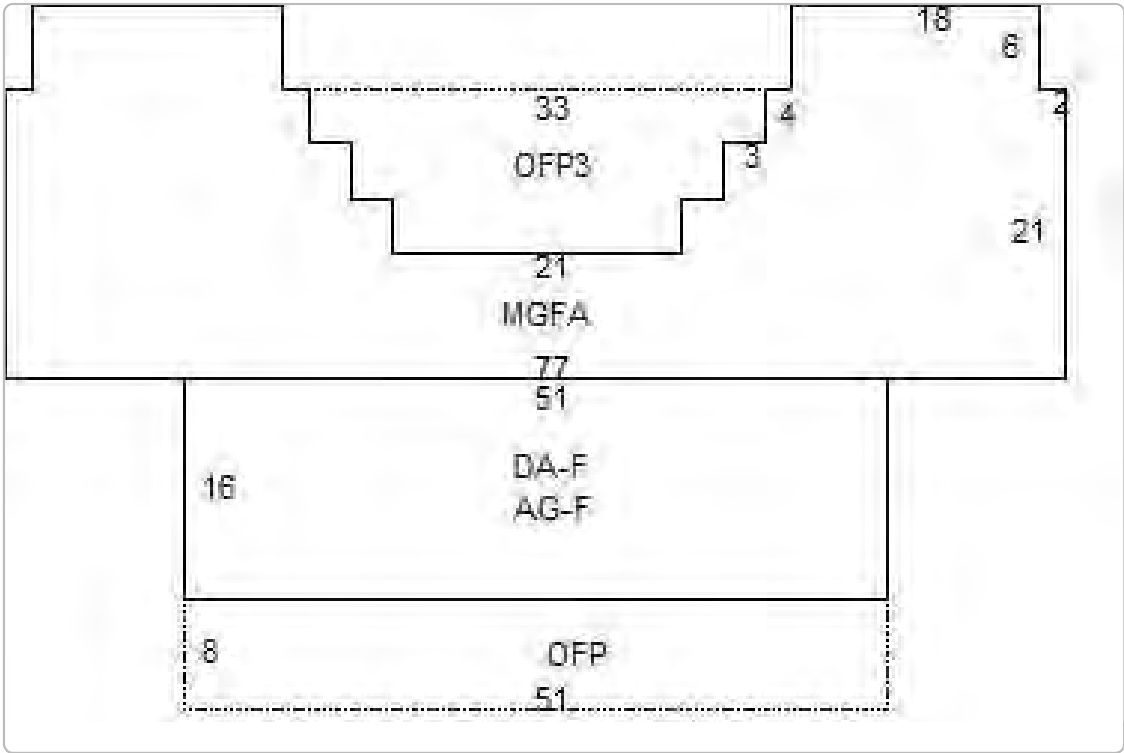
Photos

To print an image, click to view then right-click and open in new tab.



Sketches





Legend

- AA-LN – Attached Addition Landing

AA-PC – Attached Addition Patio Closed

AA-PO – Attached Addition Patio Open

AA-UR – Attached Addition Utility Room

AA-WD – Attached Addition Wood Deck

AA-WD2 – Attached Addition Wood Deck 2nd Story

AA-WD3 – Attached Addition Wood Deck 3rd Story

AA-WD4 – Attached Addition Wood Deck 4th Story

AG-F – Attached Garage Frame

AG-B – Attached Garage Brick

CA-C – Commercial Addition Canopy

CA-F – Commercial Addition Frame

CA-M – Commercial Addition Masonry

CA-S – Commercial Addition Steel

CD – Canopy & Dock

CRPT – Carport

DA-F Dwelling Addition Frame
- DA-F2 - Dwelling Addition 2nd story

DA-F3 – Dwelling Addition 3rd Story

DA-M – Dwelling Addition Masonry

DOCK – Dock

EFP – Enclosed Frame Porch

EMP – Enclosed Masonry Porch

MGFA – Main Ground Floor Addition

MGFA2 – Main Ground Floor Addition 2nd Story

MHGFA – Manufactured Home Ground Floor Addition

OFF – Open Frame Porch

OFF2 – Open Frame Porch 2nd Story

OFF3 – Open Frame Porch 3rd Story

OFF4 – Open Frame Porch 4th Story

OFFS – Open Frame Porch Screened

OMP – Open Masonry Porch

OMP2 – Open Masonry Porch 2nd Story

Recent Sales In Area

Sale date range:

From:

02/04/2015

To:

02/04/2025

Sales by Neighborhood

Sales by Subdivision

Distance:

1500

Feet

▼

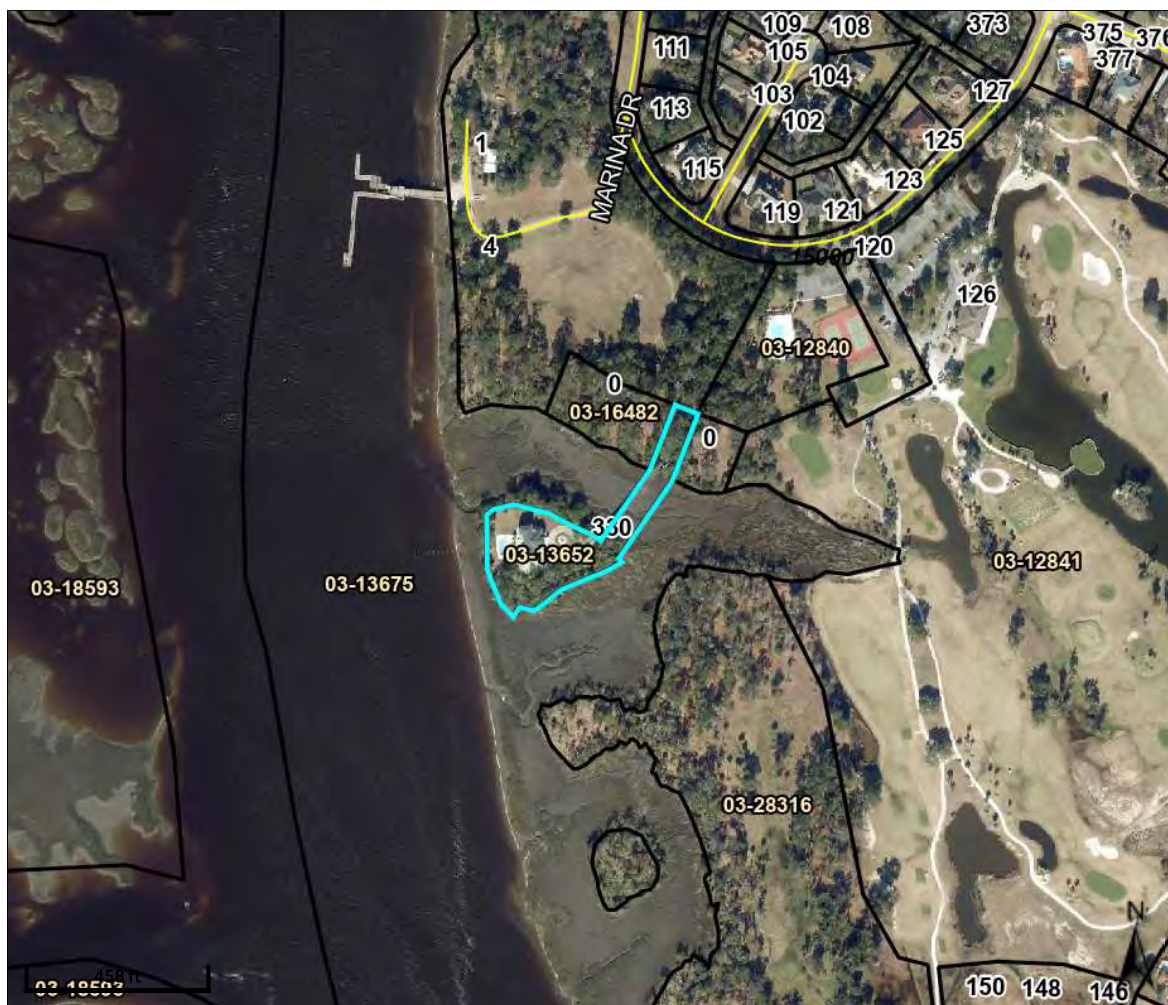
Sales by Distance

No data available for the following modules: Summary (MH), Mobile Homes-IasW, Prebill Mobile Homes.

Glynn County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.  
| [User Privacy Policy](#) | [GDPR Privacy Notice](#)  
[Last Data Upload: 2/4/2025, 11:06:39 AM](#)

Contact Us










#### Overview



#### Legend

-  Parcels
-  Parcel Numbers
-  Address Numbers
-  Unit Numbers
-  Roads

Parcel ID	03-13652	Owner	PATEL SMITA R	Last 2 Sales			
Class Code	Residential Lots		PO BOX 1432	Date	Price	Reason	Qual
Taxing District	03-CENTRAL GLYNN		BRUNSWICK, GA 31521	9/13/2018	0	n/a	U
	BRUNSWICK	Physical Address	330 CLIPPER BAY	9/13/2018	\$725000	n/a	Q
Acres	1.78	Market Value	\$920400				

Date created: 2/4/2025

Last Data Uploaded: 2/4/2025 11:06:39 AM

Developed by  SCHNEIDER  
GEOSPATIAL

## Appendix I: Survey

FILING INFORMATION

CLOSURE STATEMENT:

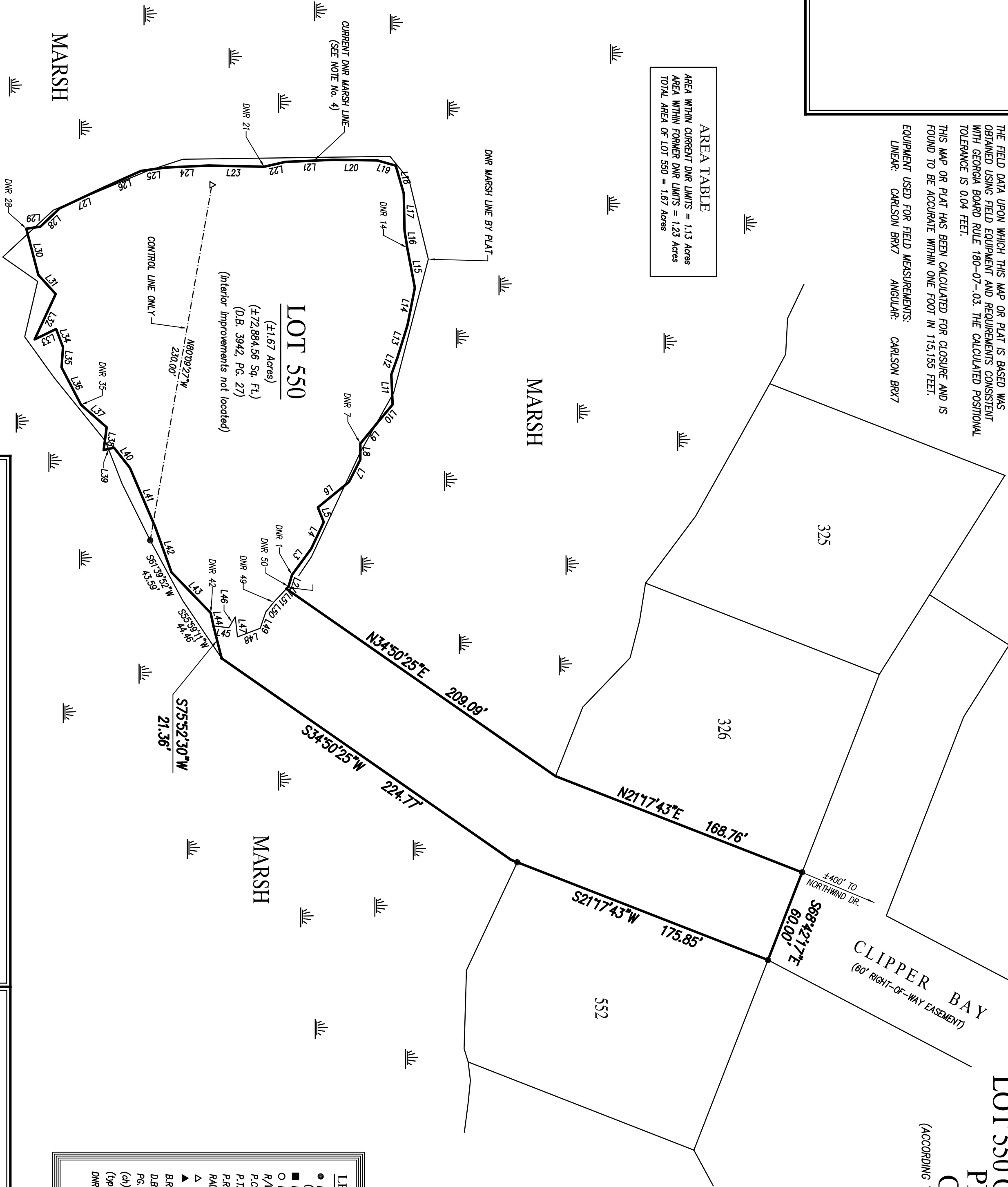
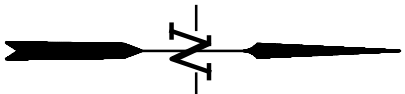
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED WAS OBTAINED USING FIELD EQUIPMENT AND REQUIREMENTS CONSISTENT WITH GEORGIA BOARD RULE 180-07-.03. THE CALCULATED POSITIONAL TOLERANCE IS 0.04 FEET.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 115,155 FEET.

EQUIPMENT USED FOR FIELD MEASUREMENTS:

LINEAR: CARLSON BRX7    ANGULAR: CARLSON BRX7

AREA TABLE	
AREA WITHIN CURRENT DNR LIMITS = 1.13 Acres	
AREA WITHIN FORMER DNR LIMITS = 1.23 Acres	
TOTAL AREA OF LOT 550 = 1.67 Acres	



DNR LINE TABLE					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	2.07'	N46°40'11"W	L26	26.23'	S24°15'27"E
L2	7.57'	N73°39'17"W	L27	30.77'	S29°05'49"E
L3	20.73'	N63°37'52"W	L28	17.10'	S43°22'37"E
L4	18.82'	N64°36'59"W	L29	9.02'	S07°48'31"E
L5	10.03'	N58°11'23"W	L30	30.44'	N75°27'01"E
L6	26.67'	N59°22'30"W	L31	16.52'	N47°52'03"E
L7	15.94'	N61°08'05"W	L32	31.90'	S65°08'55"E
L8	10.19'	N69°38'16"W	L33	15.24'	N28°08'18"W
L9	18.93'	N60°44'49"W	L34	12.40'	N69°05'52"E
L10	13.33'	N50°07'32"W	L35	12.95'	S85°54'28"E
L11	19.14'	S87°30'09"W	L36	26.93'	N62°32'13"E
L12	11.60'	N70°07'49"W	L37	21.74'	N41°12'02"E
L13	21.57'	N72°47'32"W	L38	14.60'	S82°29'19"E
L14	24.26'	N78°48'54"W	L39	6.75'	N12°30'47"W
L15	25.94'	S79°16'21"W	L40	16.39'	N51°45'08"E
L16	11.17'	S80°49'45"W	L41	41.09'	N66°49'10"E
L17	23.66'	S88°47'58"W	L42	30.57'	N70°11'35"E
L18	18.41'	S73°58'45"W	L43	35.96'	N46°06'41"E
L19	12.11'	S16°45'42"W	L44	8.45'	N73°30'01"W
L20	28.02'	S00°48'22"W	L45	9.88'	N06°57'40"E
L21	30.70'	S02°29'15"E	L46	8.06'	N59°35'47"W
L22	13.92'	S12°39'32"E	L47	12.86'	N83°39'45"E
L23	35.56'	S01°09'44"W	L48	15.51'	N20°42'01"W
L24	27.69'	S02°44'32"E	L49	11.04'	N71°18'04"W
L25	15.43'	S07°41'28"E	L50	7.94'	N50°49'44"W
			L51	11.82'	N46°40'11"W

LEGEND

- DENOTES RD. 1/2" REBAR (UNLESS NOTED OTHERWISE)
- DENOTES RD. CONC. MON.
- DENOTES SET 1/2" REBAR
- R/W = RIGHT-OF-WAY
- P.C. = POINT OF CURVATURE
- P.T. = POINT OF TANGENCY
- P.R.C. = POINT OF REVERSE CURVATURE
- RAD = RADIUS
- Δ DENOTES SET MAG NAIL/HUB
- ▲ DENOTES RD. MAG NAIL/HUB
- B.R.L. = BUILDING RESTRICTION LINE
- D.B. = DEED BOOK
- P.G. = PAGE
- (ch) = CHORD
- (typ.) = TYPICAL
- DNR = DEPARTMENT OF NATURAL RESOURCES
- P.B. = PLAT BOOK
- P.C. = PLAT CABINET
- P.D. = PLAT DRAWER
- P.C.C. = POINT OF COMPOUND CURVATURE
- ARC = ARC LENGTH
- ID = IDENTIFICATION
- FD. = FOUND
- LB. = LICENSED BUSINESS
- L.S.C. = LICENSED SURVEY FIRM
- CONC. = CONCRETE
- MON. = MONUMENT
- ID = IDENTIFICATION
- ORB = OFFICIAL RECORDS BOOK
- (T) = TOTAL
- (M) = METLAND
- SQ. FT. = SQUARE FEET
- (I) = RADIAL
- CMRA = COASTAL MARSHLANDS PROTECTION ACT

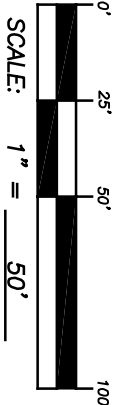
NOTES:

- 1) BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH--NAD83 COORDINATE DATUM FOR THE GEORGIA EAST ZONE UTILIZING THE GPS SOLUTIONS REAL TIME NETWORK. ROTATE BEARINGS 02-09-31" CLOCKWISE TO ACHIEVE PLAT BEARINGS.
- 2) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A FORMAL TITLE REVIEW.
- 3) THERE MAY EXIST ADDITIONAL RESTRICTIONS LYING OVER THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF CAMDEN COUNTY.
- 4) THE CMRA LINE SHOWN HEREON WAS FLAGGED BY THE GEORGIA DNR ON OCTOBER OF 2024.
- 5) CMRA LINE SHOWN HEREON IS FLAGGING TIED TO VARIOUS FORMS OF VEGETATION AND WAS LOCATED USING STANDARD GPS METHODOLOGY.
- 6) TOTAL LINEAR FOOTAGE OF CMRA LINE: 945'

SURVEY DATE: 10-10-2024

SURVEYOR'S CERTIFICATION:

THIS PLAT IS A RETRACTION OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL, OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. RECORPATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE SIGNING LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REESTRATATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



F.B.: BSI DIGITAL, PG.: —  
DWG. No. B-1-2468-10-24

THIS SURVEY WAS PREPARED IN CONFORMANCE WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, THE GEORGIA SUPERIOR COURT OF CLAIMS COOPERATIVE AUTHORITY AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

MAP TO SHOW SPECIFIC PURPOSE SURVEY OF  
LOT 550 OAK GROVE ISLAND PLANTATION,  
PHASE THREE, 1356th G.M.D.,  
GLYNN COUNTY, GEORGIA  
(ACCORDING TO PLAT RECORDED IN P.B. 22, FOLIO 194, PUBLIC RECORDS OF GLYNN COUNTY)

FOR: SMITAR, PATEL

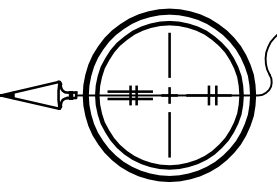
GLYNN COUNTY TAX PARCEL No. 03-13652

I HEREBY CERTIFY THAT THE ABOVE PROPERTY WAS SURVEYED UNDER MY DIRECT SUPERVISION AND THAT THE DNR FLAGS ARE LOCATED UPON SAME AS SHOWN AND THAT THERE ARE NO ENCROACHMENTS UPON SAID PROPERTY, EXCEPT AS SHOWN.

THIS MAP NOT VALID UNLESS THIS PRINT BEARS THE SEAL OF THE SIGNING SURVEYOR.

CAD FILE: BSI\CAD\GALVNL\OAK GROVE ISLAND PLANTATION\LOT550OAKGROVE1SAND.DWG

DWN. BY: T.L.P.  
OKO. BY: R.B.



BENNETT SURVEYING, INC.  
Surveyors and Land Planners  
102 MARSH HARBOR PARKWAY, UNIT 103  
KINGSLAND, GEORGIA 31548  
(912) 558-8898

LICENSED SURVEY FIRM No. 3267  
REGISTERED SURVEYOR No. 5898 GA  
T.L.P. 10/23/2024

REGISTERED SURVEYOR No. 5898 GA



*A Golden Past.  
A Shining Future.*

**PLANNING & ZONING DEPARTMENT**

*1725 Reynolds Street, Suite 200, Brunswick, GA 31520*

*Phone: 912-554-7428/E-mail: [planningzoning@glynncounty-ga.gov](mailto:planningzoning@glynncounty-ga.gov)*

June 30, 2025

Josh Noble  
Marsh and Shore Management Program Manager  
Georgia DNR, Coastal Resources Division  
One Conservation Way  
Brunswick, GA 31520

RE: 330 Clipper Bay, Brunswick, GA 31523  
Parcel 03-13652

Dear Mr. Noble:

Pursuant to the request for a zoning certification letter (ZCL-25-36) by LaBarba Environmental Services regarding 330 Clipper Bay, please find the following:

The installation of the proposed living shoreline and associated impacts, as depicted in the attached plans, does not conflict with current Glynn County zoning laws.

Should you have any additional questions, please feel free to contact me at [mpostal@glynncounty-ga.gov](mailto:mpostal@glynncounty-ga.gov).

Sincerely,

*Maurice Postal*

Maurice Postal, AICP  
Development Review Manager

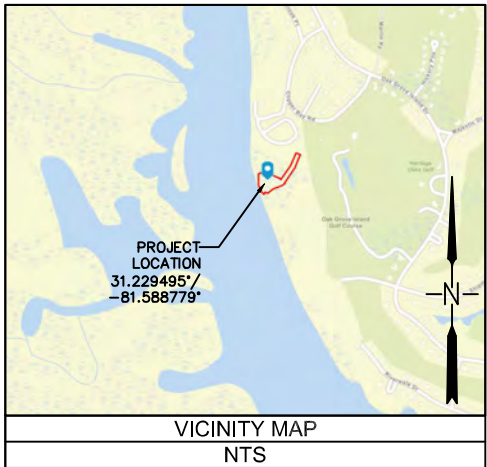
*The Glynn County Planning & Zoning Department makes every effort to provide the most accurate interpretation possible based on the information available. No warranties, expressed or implied, are provided for the information herein, its use or interpretation. This letter addresses the zoning designation of the property only; other codes and ordinances which may affect the ability to develop this property may apply.*



# LIVING SHORLINE COASTAL MARSHLANDS PROTECTION ACT PERMIT APPLICATION

Preliminary review of the proposed plans does not constitute approval of the project itself. All necessary permits and approvals for activities associated with the construction will need to be obtained prior to construction.

Reviewed by Maurice Postal,  
Development Review Manager  
*Maurice Postal*  
6-30-2025



PREPARED FOR:  
RAJ PATEL  
330 CLIPPER BAY  
BRUNSWICK, GA 31523

LABARBA ENVIRONMENTAL SERVICES  
139 ALTAMA CONN. #161  
BRUNSWICK, GA 31525

NOT RELEASED  
FOR  
CONSTRUCTION

- LEGEND
- These standard symbols will be found in the drawing.
- MEAN LOW WATER
  - DNR CMPA
  - HIGH TIDE LINE
  - PROJECT AREA
  - RIP RAP
  - FLEXAMAT
  - FILTRESS GROSOXX
  - MARSH VEG PLANTING
  - UPLAND VEG PLANTING
  - EROSIONAL AREA

COVER

LABARBA ENVIRONMENTAL SERVICES  
BRUNSWICK, GA

PREPARED FOR:  
RAJ PATEL

ORIGINAL ISSUE DATE: 02/20/25

CONTENTS		
SHEET		DATE
1	COVER	02/20/2025
2	EXISTING CONDITIONS	02/20/2025
6	GRADING	02/20/2025
7	PROFILE	02/20/2025

DATE: 02/20/2025  
SCALE: NTS

1

SHEET:

MP



- NOTES:
1. BOUNDARY AND CMPA SURVEY PROVIDED BY BENNETT SURVEYING, INC.
  2. CONTOUR DATA OBTAINED FROM AERIAL DRONE IMAGE.
  3. MEAN LOW WATER (MLW) IS .19' AS DETERMINED BY NOAA STATION 8676808
  4. EXISTING EROSIONAL SHORELINE: (APPROX) 346 TOTAL LINEAR FEET.
  5. PROJECT AREA: 3,133 SF  
MARSHLAND COMPONENT: 1,418 SF  
UPLAND IMPACTS: 1,715 SF

NOT RELEASED  
FOR  
CONSTRUCTION

- LEGEND
- These standard symbols will be found in the drawing.
- MEAN LOW WATER
  - DNR CMPA
  - HIGH TIDE LINE
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  - RIP RAP
  - FLEXAMAT
  - FILTRESS GROSOXX
  - MARSH VEG PLANTING
  - UPLAND VEG PLANTING
  - EROSIONAL AREA

EXISTING CONDITIONS

LABARBA ENVIRONMENTAL SERVICES  
BRUNSWICK, GA

PREPARED FOR:  
RAJ PATEL

DATE: 02/20/2025  
SCALE: 1" = 50'

2

SHEET:



MP



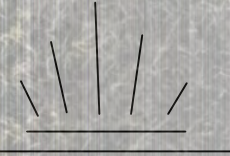
NOTES:

1. SLOPE ALONG THE CREEK TO BE GRADED TO A SLOPE OF 2:1.

2. NO GRADING PROPOSED IN AREAS NOT ALONG THE CREEK.

3. IMPACTS FROM GRADING (1,573 SF) (0 CY NET FILL)  
MARSHLAND GRADING: 972 SF  
UPLAND GRADING: 601 SF

3. ALL MATERIAL FOR GRADING WILL BE LOCALLY SOURCED FROM THE SITE, NO FILL WILL BE BROUGHT FROM OFF SITE.



NOT RELEASED  
FOR  
CONSTRUCTION

LEGEND

These standard symbols will be found in the drawing.

- MEAN LOW WATER
- DNR CMPA
- HIGH TIDE LINE
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- MARSH VEG PLANTING
- UPLAND VEG PLANTING
- EROSIONAL AREA

GRADING

LABARBA ENVIRONMENTAL SERVICES  
BRUNSWICK, GA

PREPARED FOR:  
RAJ PATEL

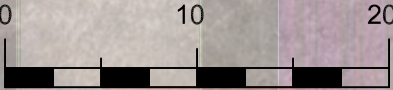
DATE: 02/20/2025  
SCALE: 1" = 10'

3

SHEET:

SHORELINE SLOPED  
TO 2:1

CMPA JURISDICTION LINE



GRAPHIC SCALE  
1 inch = 10 ft.



NOTES:  
1. IMPACTS:  
FLEXAMAT: 1,605 SF  
MARSHLAND: 960.5 SF  
UPLAND: 844.5 SF  
RIP RAP: 276.63 SF (+10 CY) (MARSHLAND IMPACTS)  
FILTREXX GREENLOXX: 1,423.4 SF  
MARSHLAND: 1,048 SF  
UPLAND: 375.4 SF  
MARSH PLANTING: 1,489.44 SF  
UPLAND PLANTING: 1,246.78 SF

NOT RELEASED  
FOR  
CONSTRUCTION

LEGEND

These standard symbols will be found in the drawing.

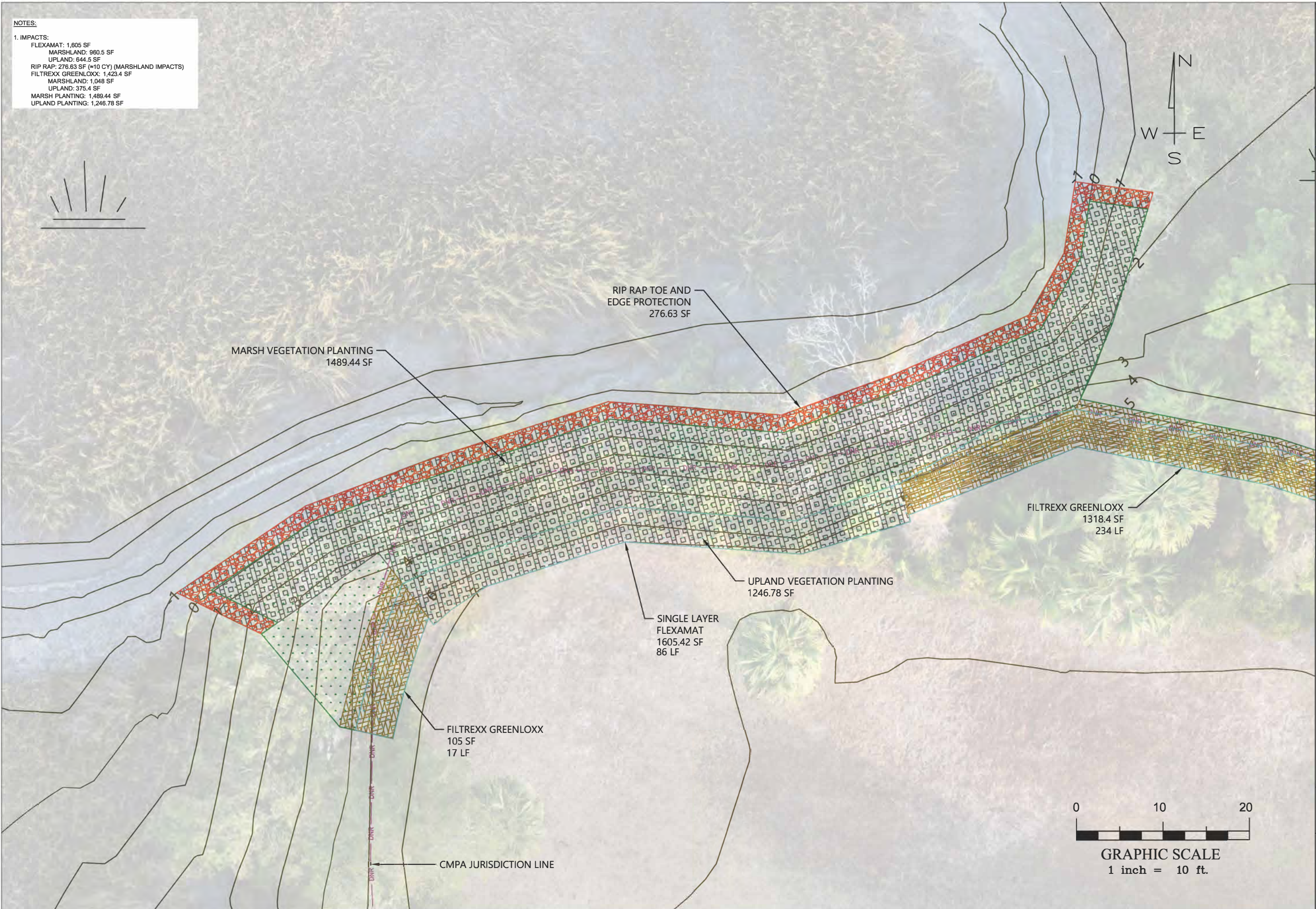
- MEAN LOW WATER
- DNR CMPA
- HIGH TIDE LINE
- PROJECT AREA
- RIP RAP
- FLEXAMAT
- FILTREXX GROSOXX
- MARSH VEG PLANTING
- UPLAND VEG PLANTING
- EROSIONAL AREA

LIVING SHORELINE (1)  
LABARBA ENVIRONMENTAL SERVICES  
BRUNSWICK, GA  
PREPARED FOR:  
RAJ PATEL

DATE: 02/20/2025  
SCALE: 1" = 10'

4

SHEET:





NOTES:

1. IMPACTS:  
FLEXAMAT: 1,605 SF  
MARSHLAND: 960.5 SF  
UPLAND: 644.5 SF  
RIP RAP: 276.63 SF (+10 CY) (MARSHLAND IMPACTS)  
FILTREXX GREENLOXX: 1,423.4 SF  
MARSHLAND: 1,048 SF  
UPLAND: 375.4 SF  
MARSH PLANTING: 1,497.84 SF  
UPLAND PLANTING: 1,302.45 SF

NOT RELEASED  
FOR  
CONSTRUCTION

LEGEND

These standard symbols will  
be found in the drawing.

- MEAN LOW WATER
- DNR CMPA
- HIGH TIDE LINE
- PROJECT AREA
- RIP RAP
- FLEXAMAT
- FILTRESS GROSOXX
- MARSH VEG PLANTING
- UPLAND VEG PLANTING
- EROSIONAL AREA



LIVING SHORELINE (2)

LABARBA ENVIRONMENTAL SERVICES  
BRUNSWICK, GA

PREPARED FOR:  
RAJ PATEL

DATE: 02/20/2025  
SCALE: 1" = 20'

5

SHEET:

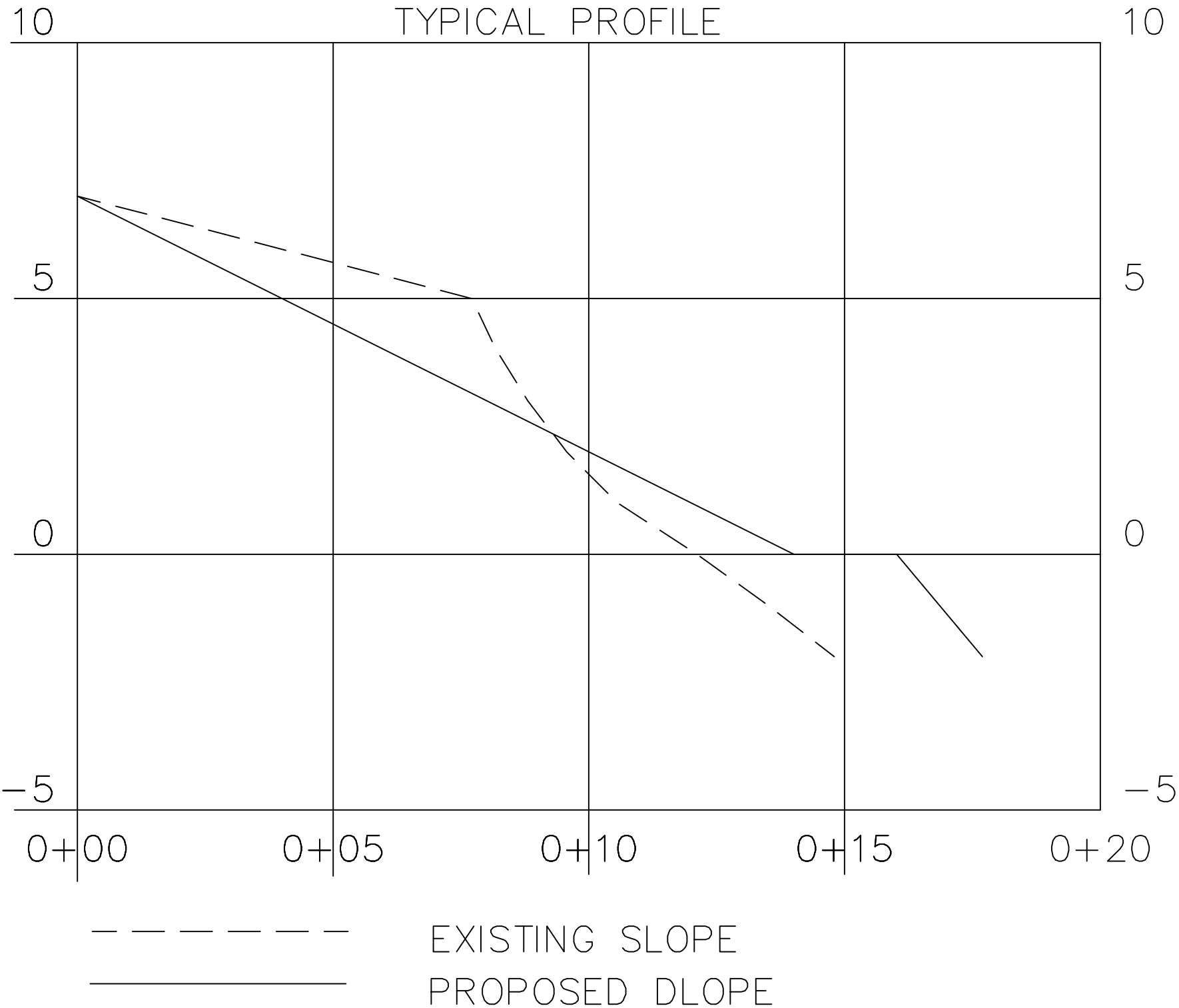
MP



LEGEND

These standard symbols will  
be found in the drawing.

- MEAN LOW WATER
- DNR CMPA
- HIGH TIDE LINE
- PROJECT AREA
- RIP RAP
- FLEXAMAT
- FILTRESS GROSOXX
- MARSH VEG PLANTING
- UPLAND VEG PLANTING
- EROSIONAL AREA



PROFILE  
LABARBA ENVIRONMENTAL SERVICES  
BRUNSWICK, GA  
PREPARED FOR:  
RAJ PATEL

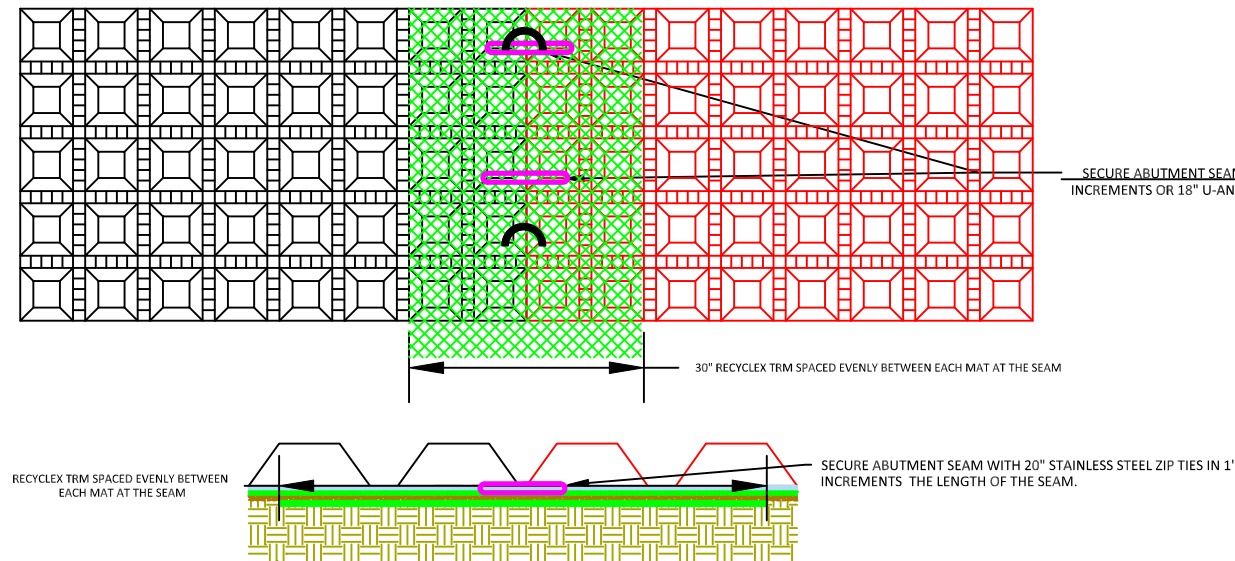
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SCALE: NTS

LEGEND

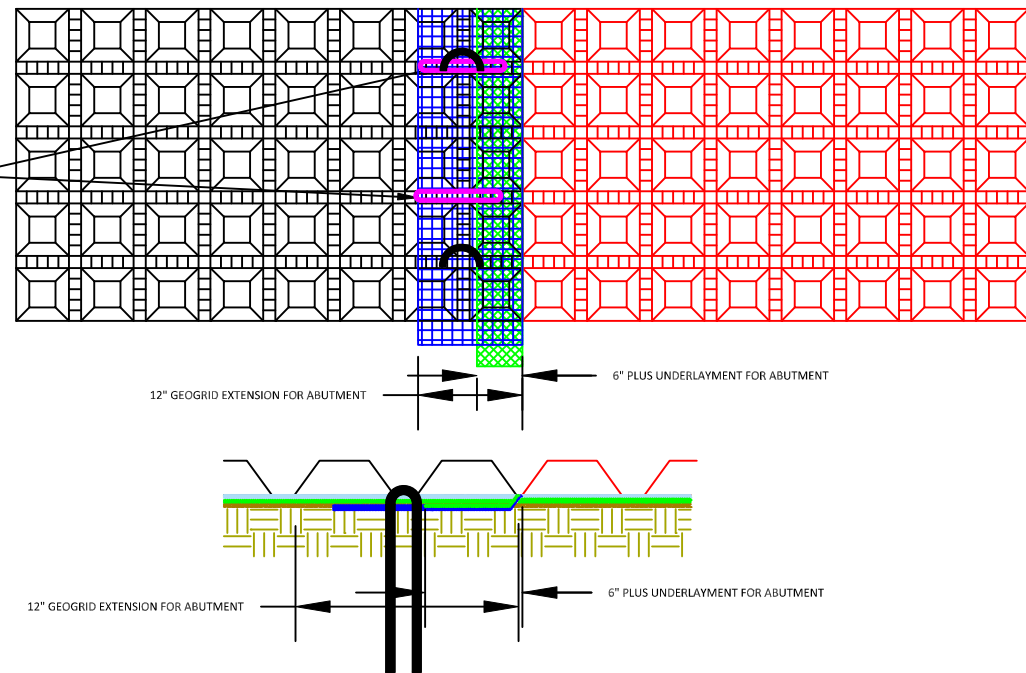
These standard symbols will be found in the drawing.

- MEAN LOW WATER
- DNR CMPA
- HIGH TIDE LINE
- PROJECT AREA
- RIP RAP
- FLEXAMAT
- FILTRESS GROSOXX
- MARSH VEG PLANTING
- UPLAND VEG PLANTING
- EROSIONAL AREA

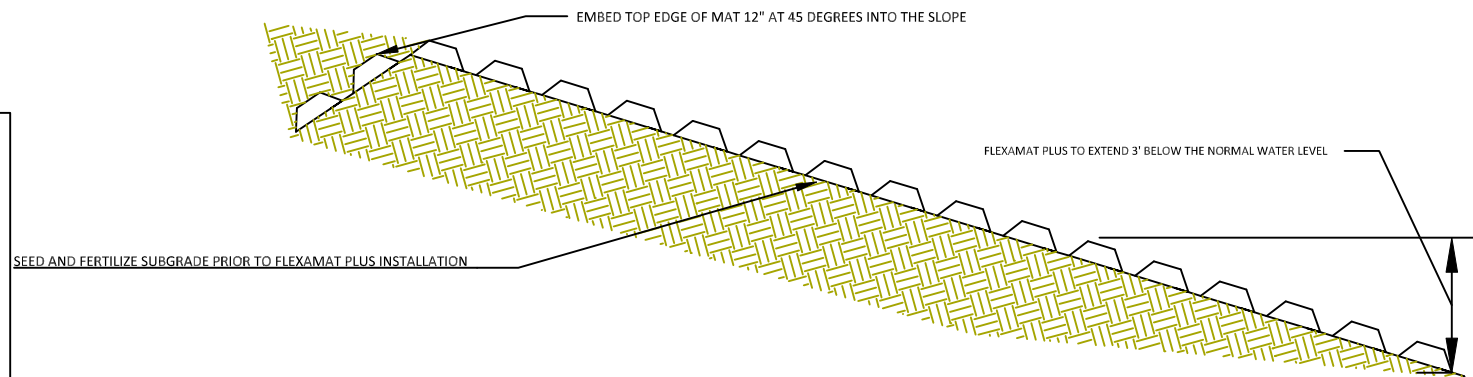
ABUTMENT METHOD FOR SHORELINE WIDTH LESS THAN 16'



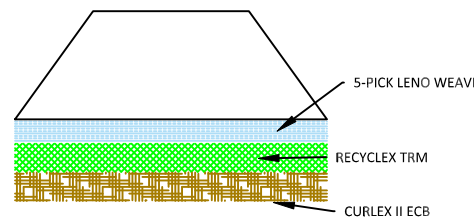
ABUTMENT METHOD FOR SHORELINE WIDTH GREATER THAN 16'



PROFILE VIEW OF SLOPE AND ANCHOR TRENCH



FLEXAMAT PLUS UNDERLAYMENT



FLEXAMAT PLUS - SHORELINE ARMORING

CONSTRUCTION NOTES:

1. AN ENGINEER OR MANUFACTURES REPRESENTATIVE SHALL BE ONSITE FOR THE START OF THE INSTALLATION.
2. ALL SUBGRADE SURFACES PREPARED FOR PLACEMENT OF MATS SHALL BE SMOOTH AND FREE OF ALL ROCKS, STICKS, ROOTS, OTHER PROTRUSIONS, OR DEBRIS OF ANY KIND.
3. PRIOR TO FLEXAMAT PLUS INSTALLATION, SEED AND FERTILIZE SUBGRADE WITH SITE SPECIFIC SEED MIX IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. .
4. INSTALL FLEXAMAT PLUS ROLLS, MATS SHALL BE CONTINUOUS FOR ENTIRE LENGTH OF SLOPE.
  - 4.1. MATTING SHALL EXTEND 3' BELOW ORDINARY WATER LEVEL.
5. AT MAT ABUTMENT SEAMS, INSTALL RECYCLEX TRM SEAMS EVENLY UNDER EACH MAT.
6. SECURE ABUTMENT SEAMS IN 2' INCREMENTS USING STAINLESS STEEL ZIP TIES OR #3 REBAR - 18" U-ANCHORS. ZIP TIES SHALL ENCOMPASS 3 CORDS OF GRID OF EACH ABUTTING MAT OR GEOGRID EXTENSION. U-ANCHORS SHALL ENCOMPASS 2 CORDS OF GEOGRID OF EACH ABUTTING MAT OR GEOGRID EXTENSIONS.
7. AT THE BEGINNING AND END OF THE SHORELINE PROTECTION, EMBED THE MAT 18" PAST THE ANTICIPATED SCOUR POINT. FILL AND COMPACT TERMINATION TRENCH WITH COHESIVE SOIL.
8. RECESS TOP TWO BLOCKS OF MAT INTO THE SLOPE.

MOTZ  
ENTERPRISES, INC.

Flexamat  
(513)772-6689  
Info@Flexamat.com  
Flexamat.com



REV - 2

PROFILE

LABARBA ENVIRONMENTAL SERVICES  
BRUNSWICK, GA  
PREPARED FOR:  
RAJ PATEL

DATE: 02/20/2025

SCALE: NTS

7

SHEET:

MP



LEGEND

These standard symbols will be found in the drawing.

- MEAN LOW WATER
- DNR CMPA
- HIGH TIDE LINE
- PROJECT AREA
- RIP RAP
- FLEXAMAT
- FILTRESS GROSOXX
- MARSH VEG PLANTING
- UPLAND VEG PLANTING
- EROSIONAL AREA

FILTREXX DETAILS

LABARBA ENVIRONMENTAL SERVICES  
BRUNSWICK, GA

PREPARED FOR:  
RAJ PATEL

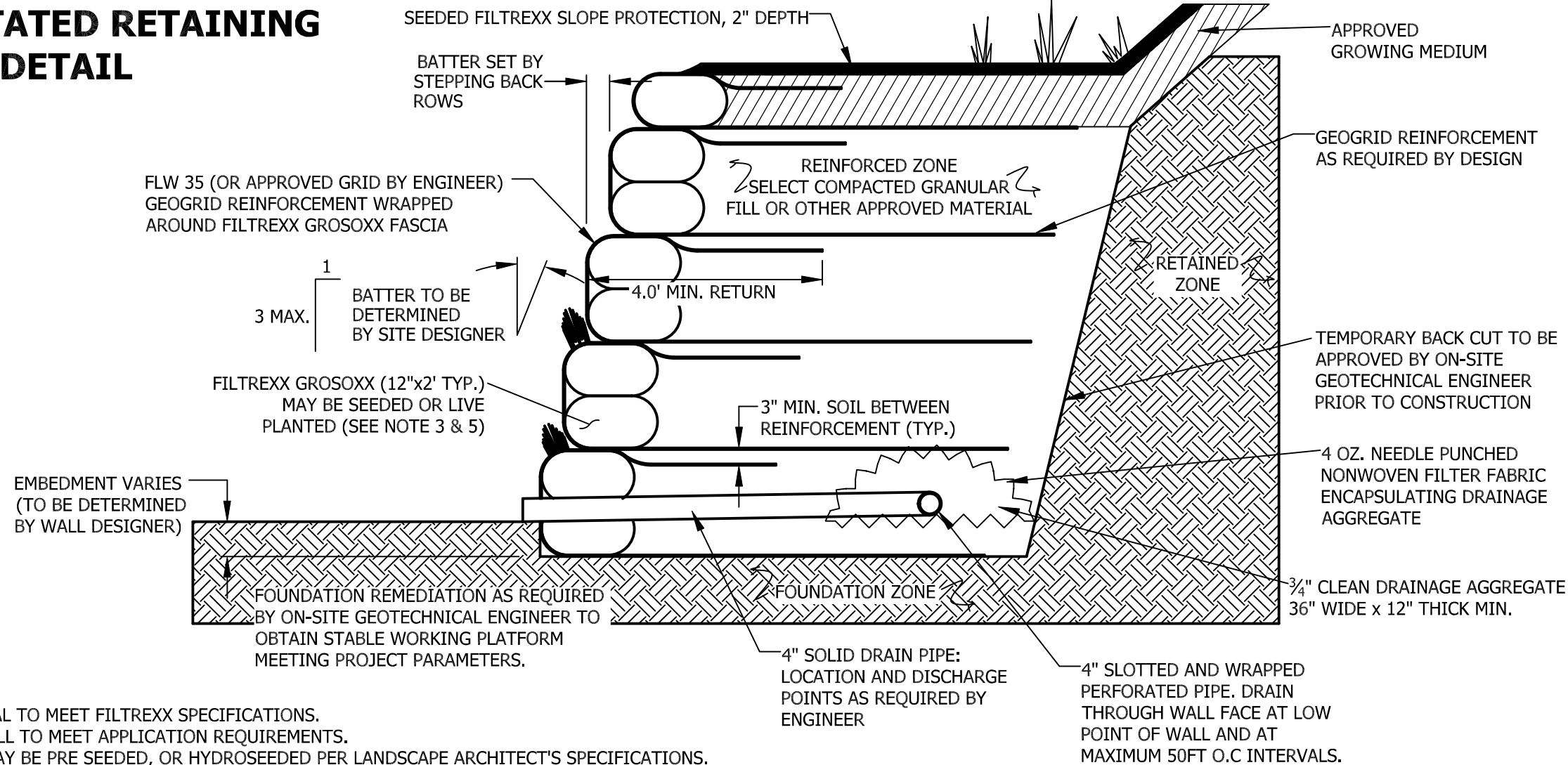
DATE: 02/20/2025

SCALE: NTS

8

SHEET:

# GREENLOXX MSE VEGETATED RETAINING WALL DETAIL



NOTES:

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. GROSOXX FILL TO MEET APPLICATION REQUIREMENTS.
3. GROSOXX MAY BE PRE SEED, OR HYDROSEED PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
4. BACKFILL TO BE PLACED PER ENGINEER'S REQUIREMENTS.
5. GEOGRID STRENGTH, LENGTH, AND VERTICAL SPACING TO BE DETERMINED BY ENGINEER. GEOGRID--NO STRANDS ARE TO BE CUT DURING PLANTING, ETC. WE RECOMMEND BI-DIRECTIONAL STRENGTH FOR CONSTRUCTION EASE.
6. NATIVE AND DRAINAGE BACKFILL TO BE SEPARATED BY NON-WOVEN FILTER FABRIC.

THESE GRAPHIC REPRESENTATIONS ARE INTENDED FOR PRELIMINARY DESIGN PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER.

DRAWN		FILTREXX LIVING WALLS	
CHECKED		TITLE	
QA		GREENLOXX MSE VEGETATED	
WFG		RETAINING WALL DETAIL	
APPROVED		SIZE	DWG NO
		D	GREENLOXX MSE VEGETATED
		SCALE	N/A
			SHEET 1 OF 1

RETAINING WALL DETAIL

**Sam LaBarba**

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**From:** Winsness, Shannon <Shannon.Winsness@dnr.ga.gov>  
**Sent:** Wednesday, March 12, 2025 9:06 AM  
**To:** Sam LaBarba  
**Cc:** Wurtz, Stephen  
**Subject:** RE: 330 Clipper Bay

From the submitted drawings, exemption 391-3-7-.11(1)(j) in the Rule is applicable. The marsh buffer shall not apply to any lot for which the preliminary plat has been approved prior to December 31, 2015, if roadways, bridges, or water and sewer lines have been extended to such lot prior to December 31, 2015, and if the requirement to maintain a 25 foot buffer would consume at least 18 percent of the high ground of the platted lot otherwise available for development; provided, however, that adequate erosion control measures are incorporated into the project plans and specifications and such measures are fully implemented.

Therefore, for Lot 550 Oak Grove Island Plantation (330 Clipper Bay), a marsh buffer variance will not be required by EPD according to the Rules of the Georgia Department of Natural Resources, Environmental Protection Division, Chapter 391-3-7.11, Erosion and Sedimentation Control.

However, EPD reserves the right to change this determination if information that conflict with the original project plans and methods described is obtained during a later site inspection.

This email does not relieve you from obtaining any other permits that would be required by any other local, state, or federal agency.

Please do not hesitate to contact me @ 912-230-4880 should you have any questions.

Shannon Winsness  
Watershed Protection Branch  
Coastal District Office  
1050 Canal Road  
Brunswick, GA 31525-6856

Zoom Phone: (912) 434-7486  
Cell: 912-230-4880  
Email: [shannon.winsness@dnr.ga.gov](mailto:shannon.winsness@dnr.ga.gov)



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**From:** Sam LaBarba <sam@labarbaenvironmentalservices.com>  
**Sent:** Tuesday, March 11, 2025 1:54 PM  
**To:** Winsness, Shannon <Shannon.Winsness@dnr.ga.gov>  
**Subject:** Buffer Exemption Verification (330 Clipper Bay, Brunswick, GA)

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Shannon,

Please see the attached survey and exhibit showing the CMPA jurisdiction line at 330 Clipper Bay and the percentage of the upland that would be occupied by the 25' marsh buffer. On this lot, 40.8% of the upland developable area would be included in the buffer. Can you verify that the property is exempt from the buffer based on the 18% rule?

Sincerely,

Sam LaBarba  
Owner  
P: (912) 215-1255  
E: [sam@labarbaenvironmentalservices.com](mailto:sam@labarbaenvironmentalservices.com)  
A: Brunswick, Georgia

