

# River's Edge HOA Community Dock CMPA Permit Application

## Applicant Information

The applicant for the proposed project is River's Edge Homeowners Association, Inc. The applicant is represented by Michael Moody of Coastal Permitting Service for this project.

River's Edge Homeowners Association, Inc. (c/o Karl Schumacher)  
18 Eagle Ridge Dr, Savannah, GA, 31406, USA  
Email: CR1248@msn.com  
Phone: (912) 844-3692

Michael Moody  
Coastal Permitting Service  
256 S. Topi Trail  
Hinesville, Georgia 31313  
Email: [coastalpermittingservice@gmail.com](mailto:coastalpermittingservice@gmail.com)  
Phone: (912) 977-5241

## Project Summary

The proposed project consists of modifying the existing dock facility by constructing a new walkway extension and relocating the existing floating docks. Silt has accumulated on the landward side of the floating dock which does not allow for mooring vessels at lower tide stages. The proposed modifications will allow community members to utilize the entire dock facility at all tides.

The existing dock facility consists of a 7.8ft. x 6ft. walkway which extends from the upland and narrows into a 6.3ft. - 6.8ft x 338ft. walkway extending (total walkway 2,252 SF) to an 15.8ft. x 29.8ft. (471 SF) covered fixed deck. The beginning of the walkway also has a 32.5 SF shower area on the left side. Extending from the right side of the fixed deck is a 3ft. x 24ft. (72 SF) ramp that accesses a 10ft. x 148ft. (1,480 SF) floating dock. A 2.32ft. x 23.6ft. (54.75 SF) gangway extends seaward from the floating dock to access a 12ft. x 42ft. (504 SF) floating dock. The existing dock facility is a total of 4,866.25 SF.

The proposed modification includes adding a 6ft. x 17ft. (102 SF) walkway extending seaward from the fixed. The 3ft. x 24ft. ramp will extend to the right of the walkway extension to access the relocated 10ft. x 148ft. floating dock. A new 6ft. x 32ft. (192 SF) gangway will extend seaward from the floating dock to access the 12ft. x 42ft. floating dock. The modified dock facility will be a total of 5,105.5 SF. The total increase in footprint will be 239.25 SF (0.005 acres).

The proposed project does not contain an upland component.

## Needs Assessment

The shallow water on the landward side of the floating docks leaves approximately 35% of the mooring space inaccessible at lower tides. This is preventing the number of vessels that can park at the facility. The relocation of the floating docks will allow the community to use the entire structure and allow more vessels to be stored.

## Alternative Analyses

The applicant does not have another property suitable for the water dependent activities supported by the proposed dock. The sizes of the proposed structures and layout were determined to be the best layout to support all the necessary functions.

## Adjoining Landowners

Scott & Karen Rojas  
117 Rivers Edge Drive  
Savannah, GA 31406

George & Patricia Thompson  
1 Eagle Point Drive  
Savannah, GA 31406

## Landfill/Hazardous Waste Statement

The Georgia Environmental Protection Division Hazardous Site Inventory indicates that the project location does not contain any landfills or hazardous waste sites.

## Historic/Cultural Resources

The project area does not contain any known historic/cultural resources. The nearest historic/cultural resource is the town of Vernonburg which is approximately 1 mile away. The proposed project will not impact this resource.

## Water Quality Certification

The project does not include fuel, fill, or pump out facilities and will not require a water quality certification.

## Soil and Erosion Control Statement

The proposed project will adhere to the soil and erosion control responsibilities, if required, for the proposed project.

## Turbidity Statement

The proposed project will be performed in a manner to minimize turbidity in the stream. The dock structure will be entirely pile supported with minimal impacts to sediment from driving pilings.

## Oil & Pollutant Statement

The proposed project does not include vessel maintenance or fueling and will not result in the release of oils or other pollutants into the river.

## Water Use Statement

The proposed project is located seaward of upland owned by the applicant. The project will extend minimally into the waterway to prevent obstructions to navigation. The final structure will provide more opportunities for legitimate water uses.

## Public Interest Statement

### **A. Whether or not unreasonably harmful obstruction to or alteration of the natural flow of navigational water within the affected area will arise as a result of the proposal.**

The proposed project will not cause unreasonable harmful obstructions to or alteration of the natural flow of navigational water within the affected area to arise. All dock components of the project will be pile supported to allow the natural flow of water to pass under the structures. The project will be limited in extent past the mean low water line to prevent obstructions to navigation.

### **B. Whether or not unreasonably harmful or increased erosion, shoaling of channels, or stagnant areas of water will be created.**

The proposed project will not create unreasonably harmful or increased erosion, shoaling of channels, or stagnant areas of water. The dock will be pile supported which has minimal impacts on the natural waterway.

### **C. Whether or not the granting of a permit and the completion of the applicant's proposal will unreasonably interfere with the conservation of fish, shrimp, oysters, crabs, clams, or other marine life, wildlife, or other resources, including but not limited to water and oxygen supply.**

The proposed project will not unreasonably interfere with the conservation of fish, shrimp, oysters, crabs, clams, or other marine life, wildlife, or other resources, including but not limited to water and oxygen supply. The project will not result in a loss of aquatic habitat required for these species, nor will it impact the quality of the existing habitat. There are no existing oyster beds within the areas where the modifications will occur. The structures will be constructed as to not create negative impacts to aquatic species after construction.

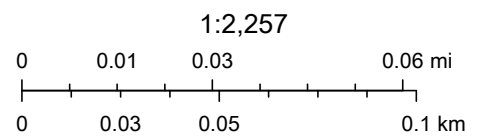
Michael Moody  
Coastal Permitting Service  
June 6, 2023

# SAGIS Map Viewer



2/1/2023, 1:03:21 PM

 Property Boundaries (Parcels)



SAGIS



**CHATHAM COUNTY DEPARTMENT OF BUILDING SAFETY AND REGULATORY SERVICES**

1117 EISENHOWER DRIVE, SAVANNAH, GA 31406

P.O. Box 8161, Savannah, GA. 31412-8161

912 201 4300 – Fax 912 201 4301

August 18, 2023

Sam LaBarba  
LaBarba Environmental Consultants  
Brunswick, Georgia

RE: Rivers Edge Community Dock Mooring Improvements

Dear Mr. LaBarba,

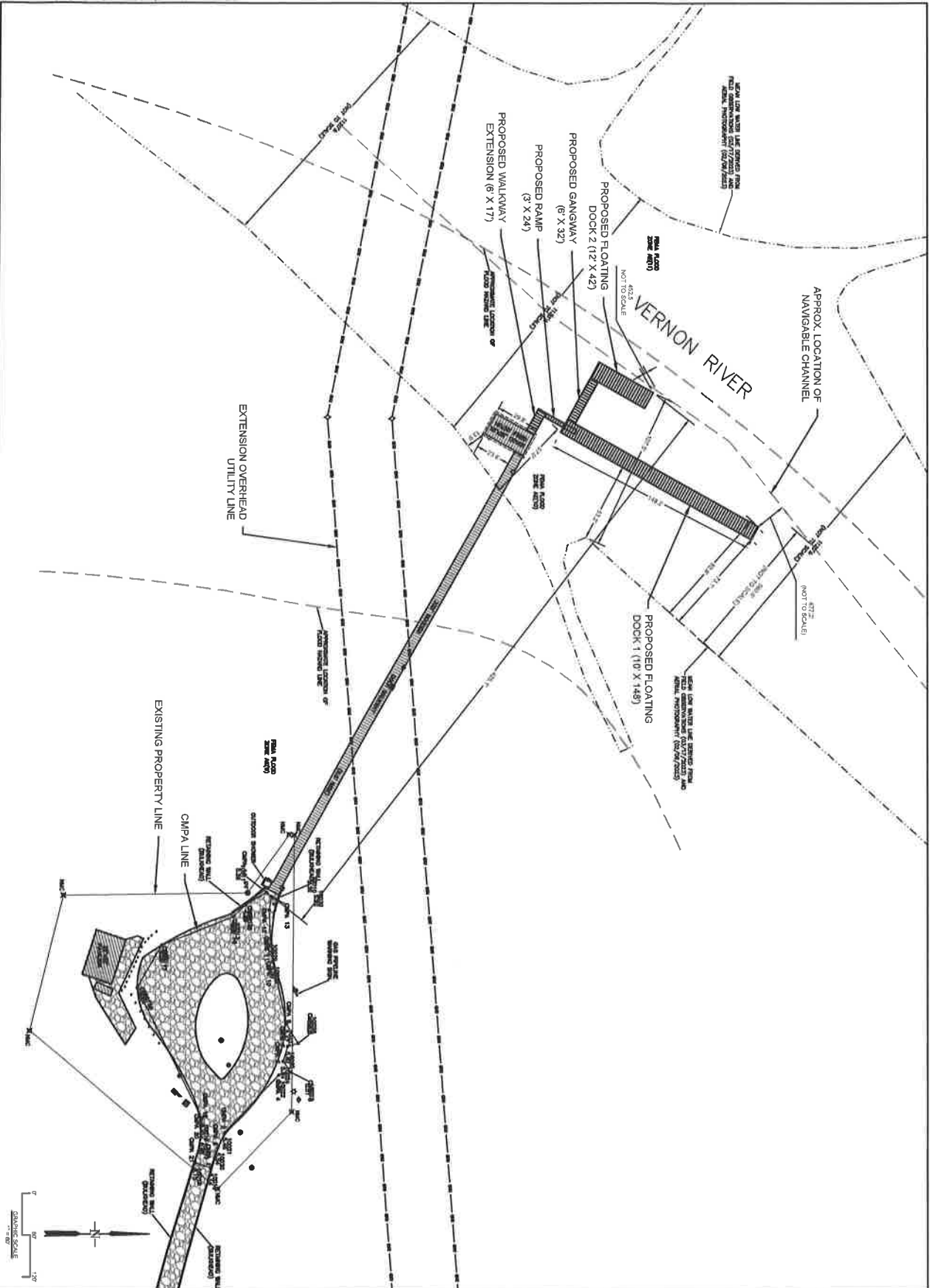
The above referenced improvements and those identified on the attached documents do not represent a violation of the Chatham County Zoning Ordinance.

If there are questions, I can be reached at 912 201 4315.

Sincerely,

Marcus Lotson  
Assistant Director, Building Safety and Regulatory Services.

Attachments



NOT RELEASED  
FOR  
CONSTRUCTION

**PROPOSED**

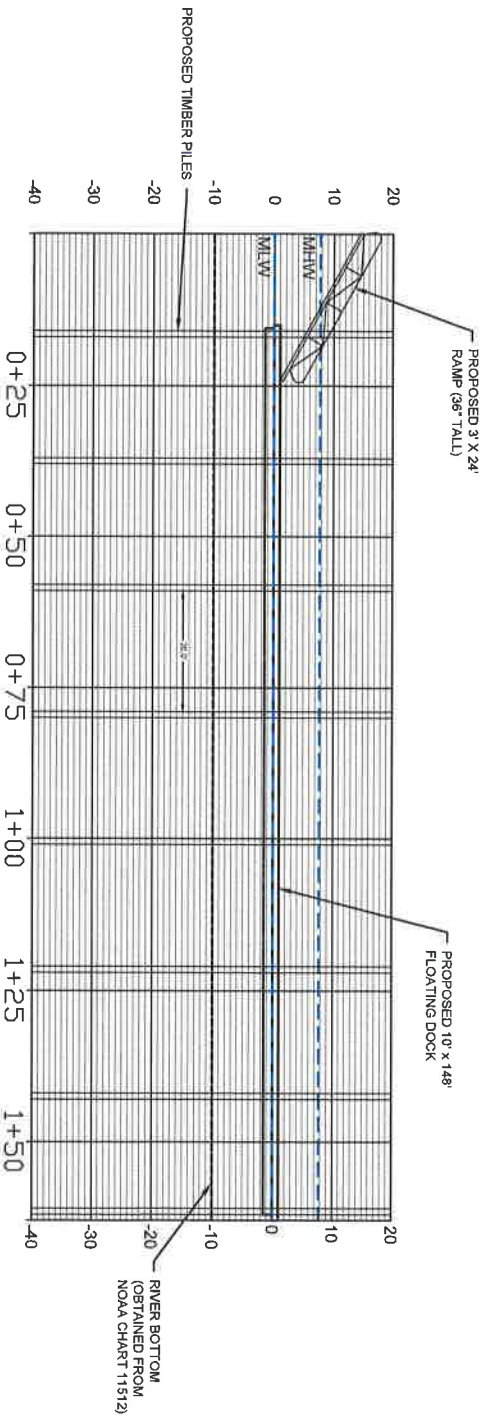
WATER DOCK NUMBER: 1, 2, 3, 4  
 NUMBER AREA: 123.5  
 FIELD CODE: 011.5  
 CONT. AREA: 345.5  
 AREA: 45.5  
 CHANNEL DOCK 1: 1.240.5  
 CHANNEL DOCK 2: 448.5  
 TOTAL ANCHORED STRUCTURE: 1,114.5  
 SITE COORDINATE  
 POINT NAME: 123.5  
 POINT NUMBER: 123.5  
 POINT DOCK CODE: 011.5  
 POINT DOCK CODE: 011.5  
 POINT CODE: 011.5  
 POINT CODE: 011.5

PROPOSED STRUCTURES  
**COASTAL PERMITTING SERVICE  
 SAVANNAH, GA**  
 PREPARED FOR:  
 RIVERS EDGE COMMUNITY DOCK COMMON AREA

DATE: 06/06/2023  
 SCALE: 1" = 50' (AS SHOWN)

3  
 SHEET

*Zoning: OML 8/8/23*



FLOATING DOCK 1 - 1+63.00  
 Vertical Scale: 1" = 20 FT  
 Horizontal Scale: 1" = 20 FT

NOT RELEASED  
 FOR  
 CONSTRUCTION

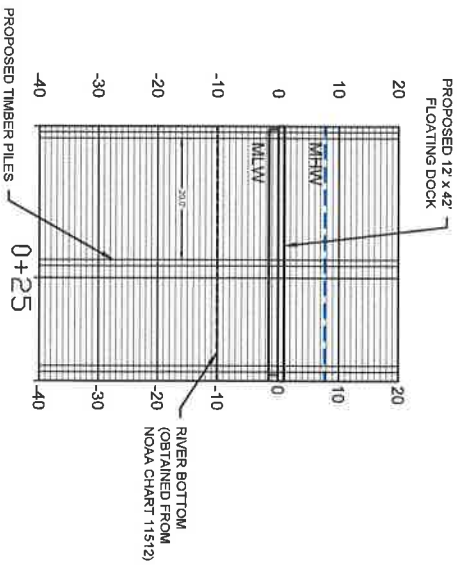
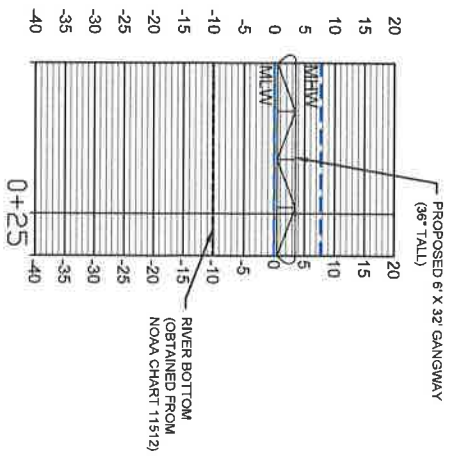
PROFILES  
 COASTAL PERMITTING SERVICE  
 SAVANNAH, GA  
 PREPARED FOR:  
 RIVERS EDGE COMMUNITY DOCK COMMON AREA

DATE: 06/06/2013  
 SCALE: 1"=20' (HORIZONTAL)  
 1"=20' (VERTICAL)

4  
 SHEET

Zovins OME 8/18/23

NOT RELEASED  
FOR  
CONSTRUCTION



ALUMINUM RAMP - 0+32.00

Vertical Scale: 1" = 20 FT  
Horizontal Scale: 1" = 20 FT

FLOATING DOCK 2 - 0+42.00

Vertical Scale: 1" = 20 FT  
Horizontal Scale: 1" = 20 FT

PROFILES

COASTAL PERMITTING SERVICE  
SAVANNAH, GA

PREPARED FOR:  
RIVERS EDGE COMMUNITY DOCK COMMON AREA

DATE: 06/06/2023  
SCALE: 1"=20' (HORIZONTAL)

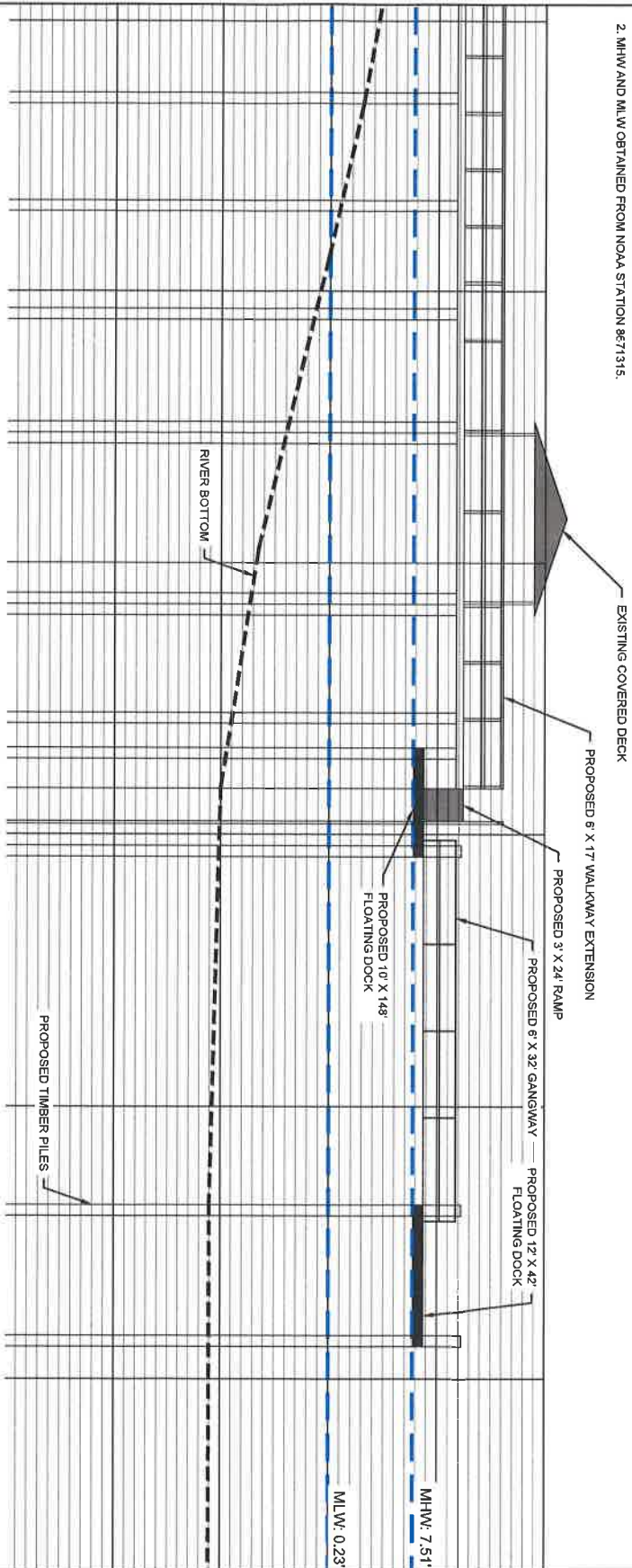
5

SHEET

Zowins. ML 8/8/23



- NOTES:
1. RIVER DEPTH OBTAINED FROM NOAA CHART 11512.
  2. MHW AND MLW OBTAINED FROM NOAA STATION 8671315.



PROPOSED STRUCTURES  
 Vertical Scale: 1" = 10 FT  
 Horizontal Scale: 1" = 10 FT

PROPOSED STRUCTURES  
 Vertical Scale: 1" = 100 FT  
 Horizontal Scale: 1" = 100 FT

PROFILES  
 COASTAL PERMITTING SERVICE  
 SAVANNAH, GA  
 PREPARED FOR:  
 RIVERS EDGE COMMUNITY DOCK COMMON AREA

NOT RELEASED  
 FOR  
 CONSTRUCTION

DATE: 06/06/2023  
 SCALE: 1"=10' (VERTICAL)  
 1"=100' (HORIZONTAL)

6

SHEET

Zovins. OML 8/8/23