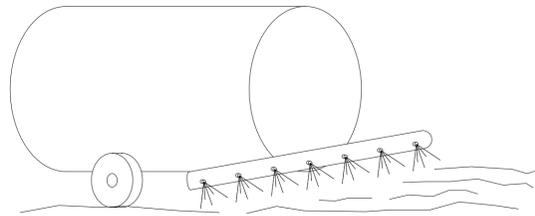


GENERAL CONSTRUCTION NOTES:

ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CURRENT TYBEE ISLAND DESIGN STANDARDS, SPECIFICATIONS AND DETAILS OR AS OTHERWISE ISSUED FOR THIS PROJECT. WHERE ANY CONFLICT EXISTS BETWEEN THESE PLANS AND/OR SPECIFICATIONS AND/OR CONSTRUCTION DETAILS AND THE TYBEE ISLAND STANDARDS, SPECIFICATIONS, DETAILS AND DEVELOPMENT ORDINANCE(S), THE TYBEE ISLAND STANDARDS SHALL PREVAIL.

- LAYOUT TO BE CONTROLLED BY EXISTING BENCHMARK.
- DIMENSIONS TO CURB AND GUTTER ARE TO FACE OF CURB.
- DIMENSIONS TO WALK ARE TO FACE OF WALK.
- DIMENSIONS TO BUILDING ARE TO FACE OF BUILDING.
- DIMENSIONS TO STRIPING IS TO CENTERLINE OF STRIPING.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
- BLUE METAL REFLECTIVE SIGN AT LEAST 12" IN WIDTH AND 18" IN LENGTH AND ERECTED AT 7' ABOVE GRADE IN SUCH MANNER SO AS TO BE CLEARLY VISIBLE TO THE PARKING VEHICLE. THE SIGN SHALL HAVE PRINTED IN WHITE LETTERS NOT LESS THAN ONE INCH IN HEIGHT ON THREE SEPARATE LINES AND CENTERED THE FOLLOWING WORDS: "PERMIT PARKING ONLY", "TOW-AWAY ZONE" AND "MAXIMUM FINE \$500.00". SUCH SIGNS SHALL ALSO DISPLAY THE SYMBOL FOR HANDICAP ACCESSIBILITY CENTERED BETWEEN THE SECOND AND THIRD LINES. VAN ACCESSIBLE SPACE SHALL HAVE ADDITIONAL SIGN WITH THE FOLLOWING WORDS: "VAN ACCESSIBLE".
- TRAFFIC CONTROL DEVICES SHALL BE USED ON ALL WORK ON THIS PROJECT IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION. THE COST TO COMPLY SHALL BE INCLUDED IN THE OVERALL COST OF THE PROJECT.
- REFERENCE SURVEYS:
 - BOUNDARY & TOPOGRAPHIC SURVEY - PREPARED BY BREWER LAND SURVEYING (08/05/2021).
 - VERTICAL DATUM: NAVD88 HORIZONTAL DATUM: NAD83
 - PROJECT IS ON STATE PLANE COORDINATES.
 - MAUPIN ENGINEERING, INC. DOES NOT ACCEPT ANY RESPONSIBILITY FOR ACCURACY OF PROVIDED SURVEY INFORMATION.
 - ONLY ABOVE GROUND, READILY VISIBLE STRUCTURES, UTILITIES AND SURFACE PAINT MARKINGS WERE LOCATED FOR THIS SURVEY. THIS SURVEYOR MAKES NO WARRANTY OR GUARANTEE AS TO THE LOCATION, EXISTENCE, OR NON-EXISTENCE OF ANY BELOWGROUND, NON-VISIBLE UTILITIES OR STRUCTURES. CONTRACTOR SHALL FIELD VERIFY LOCATION, TYPE, SIZE, MATERIAL AND GENERAL CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL GRADED EARTH NOT OTHERWISE STABILIZED WITH BUILDING, PAVEMENT OR VEGETATION SHALL BE GRASSED OR SODDED.
- OWNER SHALL ACCEPT MAINTENANCE OF THE STORM DRAINAGE SYSTEM, INCLUDING ROOF DRAIN CONNECTIONS, WITHIN THE LIMITS OF THE PROPERTY. CITY/COUNTY NAME WILL NOT MAINTAIN THE STORM DRAINAGE SYSTEM WITHIN THE PROPERTY. THIS SITE IS DESIGNED TO DISCHARGE STORM WATER RUNOFF INTO THE APPROVED MASTER DRAINAGE CONVEYANCE AND DETENTION SYSTEM.
- DITCHES, ALL DRAINAGE STRUCTURES, ORIFICES AND PAVEMENT ELEVATIONS SHALL BE SURVEYED FOR "AS-BUILT" DRAWINGS ALONG WITH THE WATER AND SANITARY SEWER SERVICES.
- ADJUST EXISTING MANHOLE FRAMES, GRATES AND VALVE BOXES TO GRADE AS NEEDED.
- ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
- MATCH EXISTING PAVEMENT GRADE ELEVATIONS WHERE CONNECTING TO EXISTING PAVEMENT.
- FILL BENEATH BUILDINGS SHALL BE COMPACTED IN ACCORDANCE WITH BUILDING STRUCTURAL SPECIFICATIONS.
- CONTRACTOR TO FIELD VERIFY DURING CONSTRUCTION ANY EXISTENCE OF SUB-SURFACE DEBRIS OR ORGANIC MATERIAL. ANY SUB-SURFACE DEBRIS OR ORGANIC MATERIAL FOUND SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2' BELOW GRADED AGGREGATE BASE IN PAVEMENT AREAS AND 2' BELOW BOTTOM OF FOOTINGS FOR BUILDINGS (CONTRACTOR SHALL CONSULT WITH BUILDING STRUCTURAL ENGINEER FOR ANY WORK BENEATH OR ADJACENT TO BUILDING AND/OR ABOVE OR BELOW GRADE STRUCTURES). IF EXCESSIVE DEBRIS OR ORGANIC MATERIAL IS FOUND, ENGINEER SHALL BE CONTACTED FOR INSPECTION. REMOVAL OF INSPECTED MATERIAL SHALL BE DIRECTED BY THE ENGINEER.
- ALL EROSION AND SEDIMENT CONTROL DEVICES (BMPs) SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL AND BE MAINTAINED BY CONTRACTOR UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE GOVERNING NPDES GENERAL PERMIT.
- IF A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED, AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN SUCH PERMIT.
- THE CITY/COUNTY NAME INSPECTIONS DEPARTMENT RESERVES THE RIGHT TO ACCESS PROPERTY TO INSPECT STORM WATER FACILITIES AT ANY TIME.
- CHLORINATED, DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORM WATER SYSTEM.
- TRAFFIC CONTROL AND FLOW SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- A MINIMUM SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL INSTALLED OR RELOCATED UTILITIES AND LARGE AND MEDIUM TREES.
- ANY AND ALL STREET LIGHTING, LANDSCAPE, SIDEWALK AND ACCESSIBILITY REQUIREMENTS TO BE PERFORMED, DESIGNED AND/OR CONSTRUCTED SHALL BE COORDINATED WITH CIVIL ENGINEER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND/OR MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR THE ROOF DRAIN SYSTEM. COLLECTION AND DISCHARGE SHALL BE COORDINATED WITH CIVIL ENGINEER.
- SITE CIVIL PLANS SHALL TERMINATE 5' FROM BUILDING FACE UNLESS OTHERWISE NOTED. CONTINUATION OF WATER, SANITARY SEWER AND STORM DRAINAGE LATERALS SHALL BE COORDINATED WITH BUILDING CONTRACTOR IN ACCORDANCE WITH ARCHITECTURAL AND/OR MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE APPROPRIATE JURISDICTIONS APPROVED CONSTRUCTION SPECIFICATIONS AND DETAILS.
- THE OWNER, OWNER'S REPRESENTATIVES, CITY/COUNTY NAME AND OTHER REGULATORY AGENCIES SHALL HAVE THE RIGHT TO ACCESS THE SITE AT ANY TIME FOR PURPOSES OF OBSERVING WORK PERFORMED.
- ALL UTILITIES ARE SHOWN AS APPROXIMATE ON THE PLANS AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. SOME UTILITIES AND SERVICE LINE LOCATIONS ARE UNKNOWN AND NOT SHOWN ON THE PLANS. THIS DOES NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO PROTECT EXISTING UNDERGROUND FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A VALID UTILITY LOCATE TICKET FROM THE GEORGIA UTILITIES PROTECTION CENTER (811 / 800-282-7411), AND COORDINATION WITH OTHER SUCH LOCAL UTILITIES AS MAY BE REQUIRED.
- THE CONTRACTOR WILL PROTECT ALL TREES NOTED TO REMAIN WITHIN AND ADJACENT TO THE CONSTRUCTION ZONE. ANY UNAUTHORIZED REMOVAL OF TREES NOTED TO REMAIN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REESTABLISH TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. ALL BORROW MATERIAL SHALL BE CLEAN AND FREE OF DEBRIS AND ORGANIC MATERIAL AND SUFFICIENT TO COMPACT TO A MINIMUM BEARING CAPACITY OF 2,500PSF OR AS OTHERWISE SPECIFIED.
- ALL ITEMS CLEARED OR DEMOLISHED FROM THE SITE, INCLUDING SPOIL MATERIAL TO BE REMOVED FOR OFF-SITE DISPOSAL, ARE THE PROPERTY OF THE CONTRACTOR UNLESS THEY ARE TO BE REUSED ON THE SITE OR OTHERWISE NOTED. NO BURYING OR BURNING OF DEBRIS WILL BE ALLOWED ON THIS SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BEST MANAGEMENT PRACTICES (BMP'S) ON THE SITE AT ALL TIMES IN ACCORDANCE WITH THESE PLANS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL OF GEORGIA".



CONTRACTOR SHALL EMPLOY THE FOLLOWING TEMPORARY METHODS TO LIMIT THE SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES:

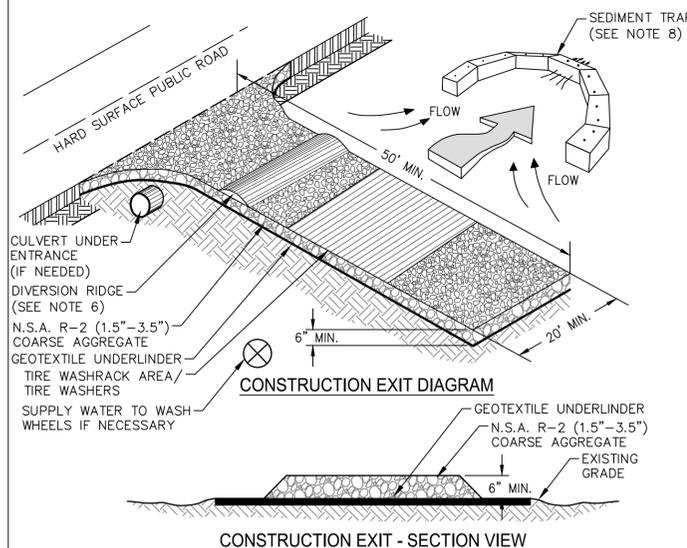
- *TEMPORARY METHODS:**
- MULCHES
 - SPRAY ON ADHESIVES
 - TILLING
 - IRRIGATION
 - BARRIERS
 - CALCIUM CHLORIDE
- *PERMANENT METHODS**
- PERMANENT VEGETATION
 - TOPSOIL
 - STONE COVER

***CHEMICAL CONTROL**

ADHESIVE	WATER DILUTION	TYPE OF NOZZLE	APPLICATION RATE (GAL/AC)
ANIOIC ASPHALT EMULSION	7:1	SPRAY	1200
LATEX EMULSION	12 1/2:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300

DUST CONTROL ON DISTURBED AREAS Du

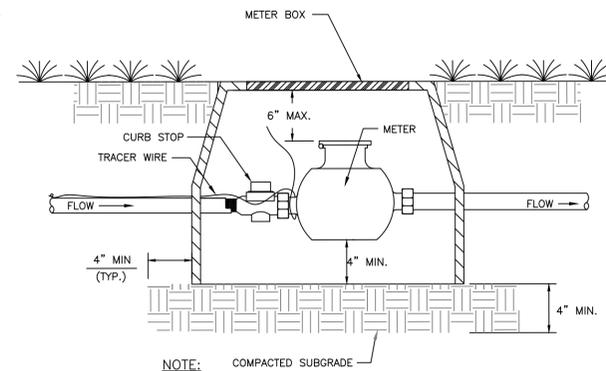
CRUSHED STONE CONSTRUCTION EXIT



- NOTES:**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

GENERAL DEVELOPMENT NOTES:

- PIN: 40003 18006
ADDRESS: 6 LOVELL AVE
TYBEE, GA 31328
- TOTAL LAND ACREAGE = 0.29(±) AC
TOTAL DISTURBED ACREAGE = 0.14(±) AC
- PROPERTY IS LOCATED IN ZONE VE-12, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP # 13051C0214G, DATED 8/15/2018
- THE SITE IS SERVED BY THE TYBEE CITY WATER AND SANITARY SEWER SYSTEM??



- NOTE:**
- APPLICABLE TO EXISTING RESIDENTIAL SERVICES ONLY.
 - APPLICABLE TO 5/8", 3/4", AND 1" ONLY.
 - DETAIL FOR USE ONLY WHEN REPLACING AN EXISTING RESIDENTIAL WATER METER WITHOUT A BACKFLOW PREVENTER (REPLACE IN-KIND ONLY).
 - COPPER COATED STEEL TRACER WIRE.

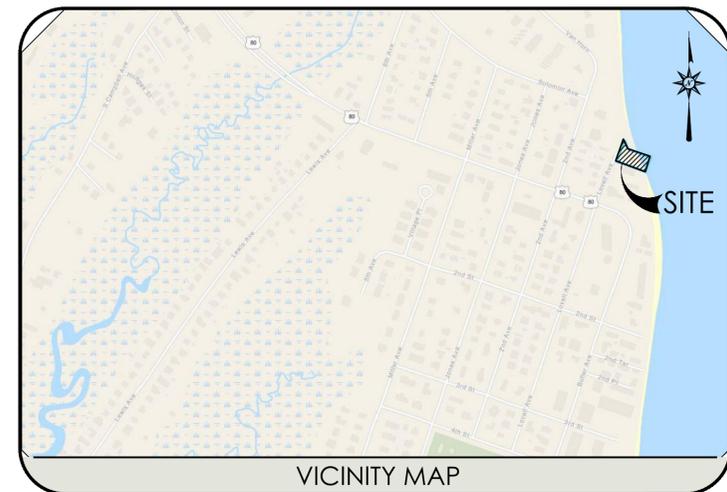
RESIDENTIAL WATER METER W/O BACKFLOW PREVENTER WITHIN GRASS OR LANDSCAPE AREAS

6 Lovell Ave
Specific Development Plan

MEI Proj #506-21-01 Plan Date: 12/16/2021

PREPARED FOR:

SIMON RICHARDSON
1335 SQUIRREL RUN
ALPHARETTA, GEORGIA
404-907-6670
simonjrichardson@yahoo.com



114 WEST 42ND STREET OFFICE PHONE (912) 235 - 2915
SAVANNAH, GA 31401 GENERAL@MAUPINENGINEERING.COM

SHEET INDEX

C.0	COVER - NOTES
C.1	STAMPED SURVEY
C.2	DEMOLITION PLAN
C.3	DEVELOPMENT PLAN
C.4	GRADING & EROSION CONTROL

REVISIONS		
NO.	DATE	DESCRIPTION

24 HOUR CONTACT
SIMON RICHARDSON
404-907-6670

UTILITIES PROTECTION CENTER

Dig Safely.
CALL 811

CONTRACTOR IS REQUIRED TO CALL AT LEAST 3 DAYS PRIOR TO START OF CONSTRUCTION



THIS SET IS RELEASED FOR PERMITTING MM/DD/YY
NOT FOR PRICING

NOW OR FORMERLY
NANCY OREILLY
LOVELL AVENUE
4-0003-18-008
D.B. 1641 PG 603

NOW OR FORMERLY
CITY OF TYBEE
O BUTLER AVENUE
4-0003-19-001

NOW OR FORMERLY
WILLIAM & ELEANOR RANDOLPH
8 LOVELL AVE
4-0003-18-005
D.B. 794 PG 227

BENCHMARK
PK NAIL IN ASPHALT
NAVD88 DATUM
EL: 6.97'
N: 734640.19
E: 1066862.72



ZONE AE ZONE VE
BFE 10.0 BFE 12.0

APPROXIMATE LOCATION
OF FLOOD HAZARD LINE

FIRST (LOVELL) AVENUE

ATLANTIC OCEAN
(BUTLER AVENUE)

4' WOODEN FENCE

EDGE OF EARTH ROAD

ADJACENT STRUCTURE

ADJACENT STRUCTURE

335 SQ FT PERVIOUS PAVERS

370 SQ FT CONCRETE PAVERS

25' SETBACK LINE (DNR)

PROPOSED RESIDENCE
1835 SQ FT IN PLAN

ELEVATED COVERED PORCH
229 SQ FT IN PLAN

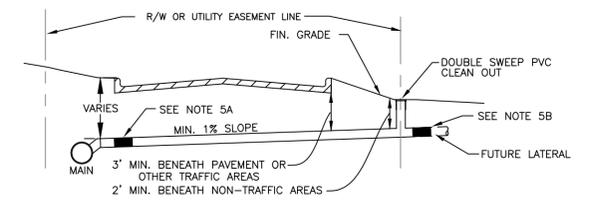
PORTION OF EXISTING BUILDING TO REMAIN

ELEVATED COVERED PORCH
3256 SQ FT IN PLAN

ELEVATED COVERED PORCH
63 SQ FT IN PLAN

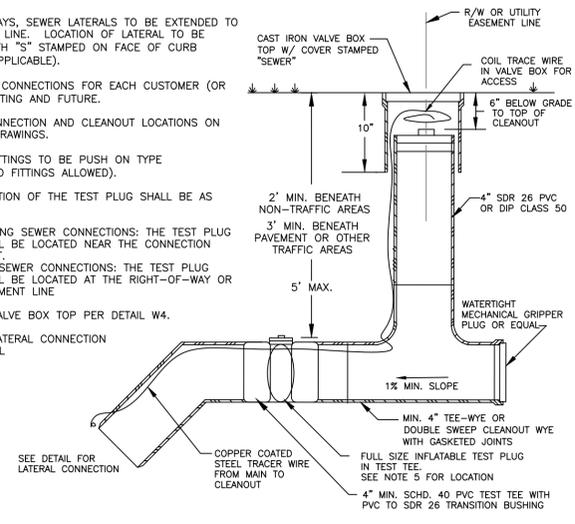
PORTION OF EXISTING BUILDING TO REMAIN

GDNR SPA JURISDICTIONAL AREA
(TO BE PRESERVED IN ITS NATURAL STATE)

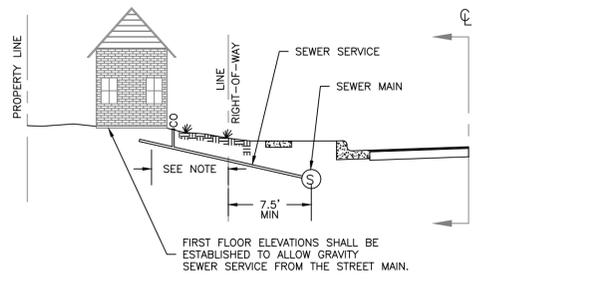
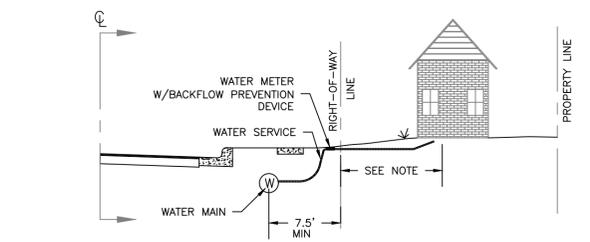


NOTES:

- IN ROADWAYS, SEWER LATERALS TO BE EXTENDED TO PROPERTY LINE. LOCATION OF LATERAL TO BE NOTED WITH "S" STAMPED ON FACE OF CURB (WHERE APPLICABLE).
- PROVIDE CONNECTIONS FOR EACH CUSTOMER (OR LOT), EXISTING AND FUTURE.
- SHOW CONNECTION AND CLEANOUT LOCATIONS ON RECORD DRAWINGS.
- ALL 4" FITTINGS TO BE PUSH ON TYPE (NO GLUED FITTINGS ALLOWED).
- THE LOCATION OF THE TEST PLUG SHALL BE AS FOLLOWS:
A: EXISTING SEWER CONNECTIONS: THE TEST PLUG SHALL BE LOCATED NEAR THE CONNECTION POINT.
B: NEW SEWER CONNECTIONS: THE TEST PLUG SHALL BE LOCATED AT THE RIGHT-OF-WAY OR EASEMENT LINE.
- INSTALL VALVE BOX TOP PER DETAIL W4.
- INSTALL LATERAL CONNECTION PER DETAIL.



SANITARY SERVICE LATERAL



PIPELINE HORIZONTAL SEPARATION

LINE	MIN. HORIZ. DIST. (FT.)
- PROPERTY LINE AND SEWER MAIN	7.5
- PROPERTY LINE AND WATER MAIN	7.5
- SEWER MAIN AND WATER MAIN	10

NOTE:

THE PROPERTY OWNER IS RESPONSIBLE FOR THE SEWER LATERAL TO THE MAIN AND FOR THE WATER LATERAL BEYOND THE METER / BACKFLOW PREVENTER ASSEMBLY.

RESIDENTIAL WATER AND SEWER SERVICE CONNECTION

REVISIONS	DATE	DESCRIPTION
NO.		

MAUPIN tm
engineering

114 WEST 42ND STREET
SAVANNAH, GA 31401

OFFICE PHONE (912) 235-2915
GENERAL@MAUPINENGINEERING.COM

DEVELOPMENT PLAN
6 Lovell Ave

LEVEL II E&S
REGISTERED
ENGINEER
MAY A. MAUPIN
CERT.#21051 EXP: 12/1/2024
STATUS:

REQUIRED FOR PERMITTING

DRAWN: ADD 6-11-2021
CHKD: JAM DATE



SHEET NO.

C.3
506-21-01



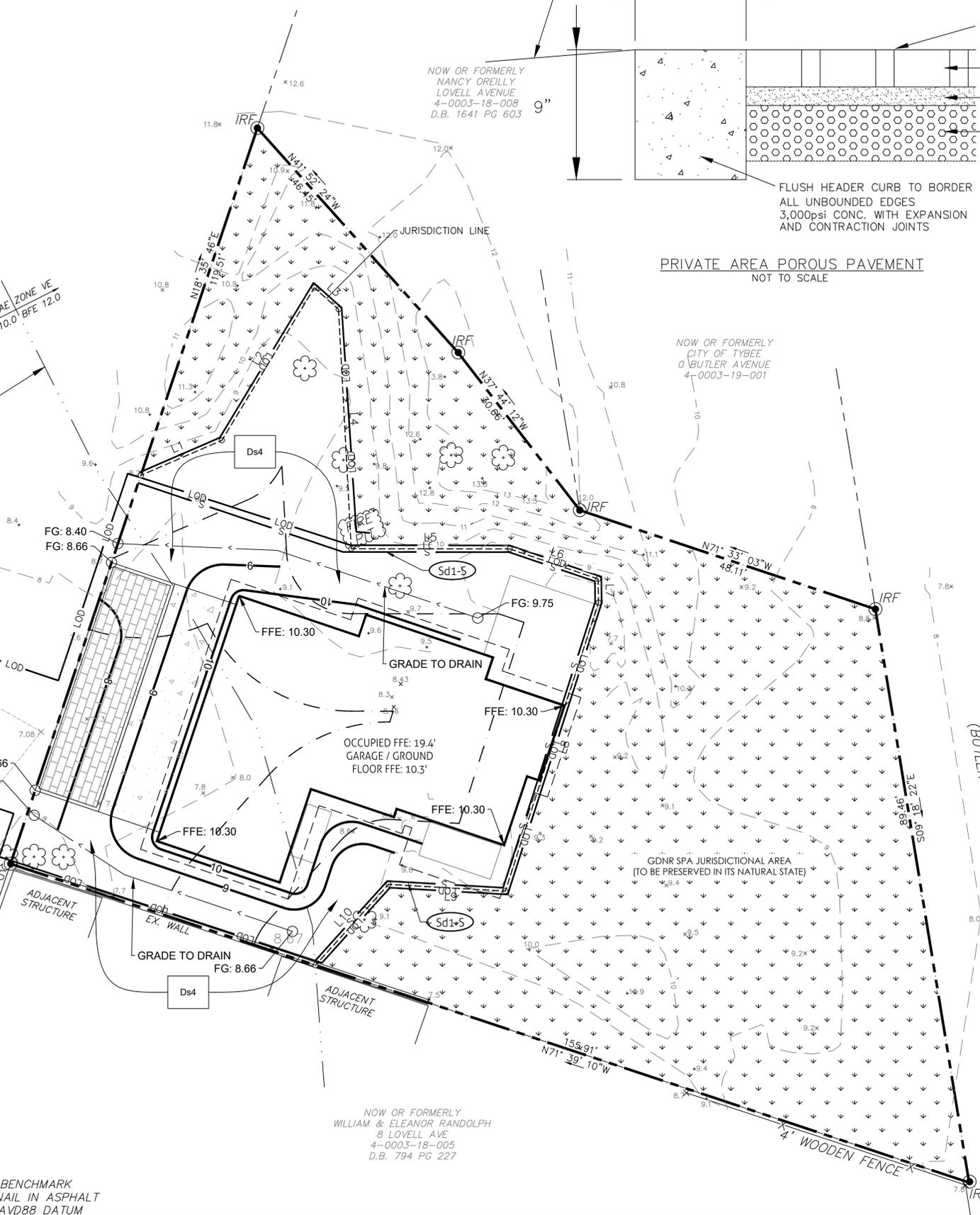
APPROXIMATE LOCATION OF FLOOD HAZARD LINE

ZONE AE ZONE VE
BFE 10.0 BFE 12.0

FIRST (LOVELL) AVENUE

EDGE OF EARTH ROAD

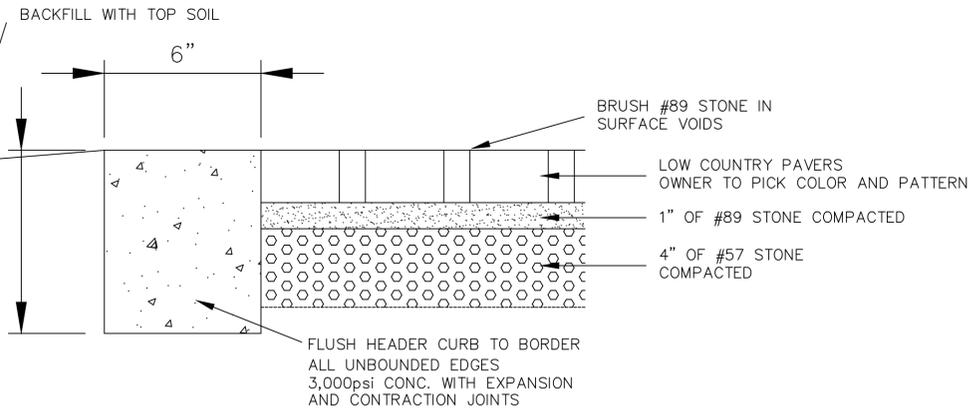
BENCHMARK
PK NAIL IN ASPHALT
NAVD88 DATUM



NOW OR FORMERLY
NANCY OREILLY
LOVELL AVENUE
4-0003-18-008
D.B. 1641 PG 603

NOW OR FORMERLY
CITY OF TYBEE
0 BUTLER AVENUE
4-0003-19-001

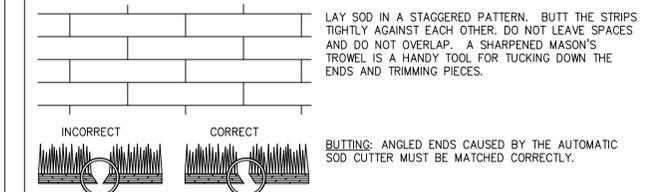
NOW OR FORMERLY
WILLIAM & ELEANOR RANDOLPH
8 LOVELL AVE
4-0003-18-005
D.B. 794 PG 227



PRIVATE AREA POROUS PAVEMENT
NOT TO SCALE

SOD MAINTENANCE AND INSTALLATION

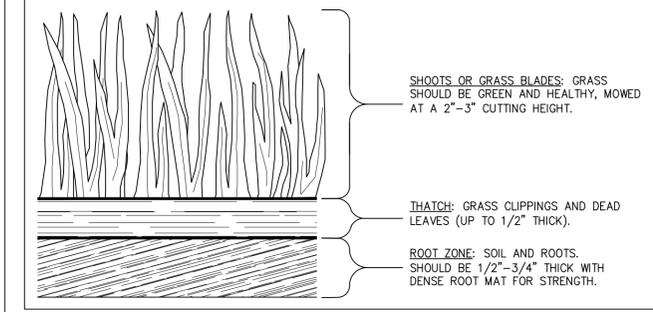
SOD LAYOUT AND PREPARATION



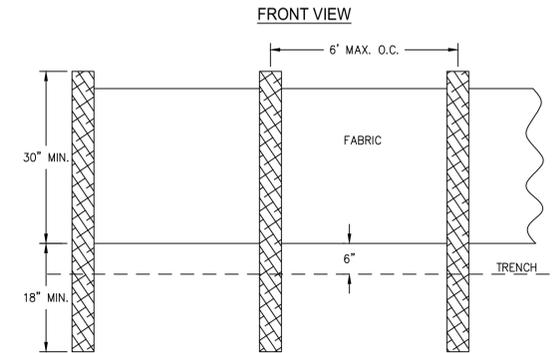
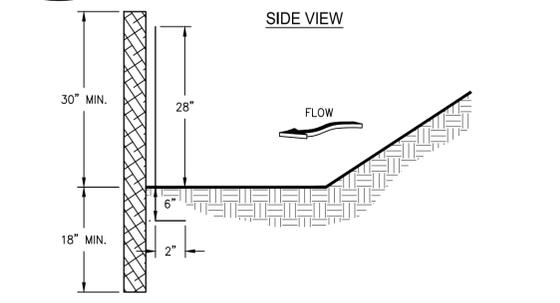
DIRECTIONS FOR INITIAL MAINTENANCE

- Step 1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL
- Step 2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAID.
- Step 3. MOW WHEN THE SOD IS ESTABLISHED -- IN 2-3 WEEKS. SET THE MOWER HIGH (2"-3").

APPEARANCE OF GOOD SOD



Sd1-NS SILT FENCE - TYPE NON-SENSITIVE



- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

REVISIONS NO.	DATE	DESCRIPTION

MAUPIN[™]
engineering

114 WEST 42ND STREET
SAVANNAH, GA 31401

OFFICE PHONE (912) 235-2915
GENERAL@MAUPINENGINEERING.COM

GRADING & EROSION CONTROL

6 Lovell Ave

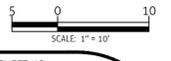
LEVEL II E&S

REGISTERED PROFESSIONAL ENGINEER
MAY A. MAUPIN
No. 23758

CERT.#21051 EXP: 12/1/2024
STATUS:

RELEASED FOR PERMITTING

DRWN: BPM 12-16-2021
CHKD: JAM DATE



SHEET NO.

C.4

506-21-01

GENERAL NOTES

THESE DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER AND ARE LIMITED IN SCOPE.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN SPECIFICALLY NOT CALLED FOR IN THESE DRAWINGS AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET ANY OF THE REQUIRED GOVERNMENT AGENCIES HAVING ANY JURISDICTION OVER ANY PORTION OF THIS PROJECT.

THE WORK OF ANY DESIGN PROFESSIONALS AND OR SUB CONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THIS PROJECT SHALL FOLLOW GOOD CONSTRUCTION PRACTICES.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

THESE DRAWINGS REPRESENT FIELD MEASUREMENTS AND DO NOT FULLY REFLECT EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS, NOTIFY DESIGN TEAM OF ANY DISCREPANCIES.

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGH PLUMBING, WIRING, CARPENTRY, ETC. INCLUDING MODIFICATION OF EXISTING CONDITIONS TO COMPLETE THE ENTIRE SCOPE OF WORK.

CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURERS WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL QUALITY MANNER.

DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS. THE CONTRACTOR IS TO REVIEW WITH THE DESIGN TEAM OF NON TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURERS' PRODUCTS ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY. PRODUCTS THAT ARE APPROVED AS EQUAL BY THE DESIGN TEAM ARE ACCEPTABLE.

CONTRACTOR SHALL SUBMIT TO OWNER AND DESIGN TEAM SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION AND OR INSTALLATION.

CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.

NO SMOKING IS TO BE ALLOWED ON THE CONSTRUCTION SITE AT ANY TIME. CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR INFERRED.

CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK.

INTERIOR FINISHES IN EXIT ACCESS AREAS TO BE CLASS A, CLASS B OR OTHERS. CONTRACTOR TO VERIFY ALL EXITS MEET CURRENT BUILDING AND SAFETY CODES.

INSULATION SHALL HAVE A SMOKE DEVELOPED RATING OF 450 MAX. CONCRETE INSULATION SHALL HAVE A FLAME SPREAD RATING OF 75 MAX. AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 MAX.

CONTRACTOR RESPONSIBLE AND SHALL MAINTAIN EXISTING AND NEW STRUCTURES WATER TIGHT INTEGRITY THROUGH USE OF TARPS AND OR PERMANENT MODIFICATIONS DURING CONSTRUCTION.

CONTRACTOR TO PARK IN DESIGNATED AREAS ONLY.

DUMPSTER LOCATION TO BE DETERMINED BY PROJECT TEAM.

ALL CONSTRUCTION ACTIVITIES OR MOVEMENT TO OCCUR ON OR LIMITED TO OWNERS PROPERTY.

THESE DRAWINGS CAN NOT STAND ALONE AS CONSTRUCTION DOCUMENTS. DOOR OPENING ARE TO BE SET 6" AWAY FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED.

SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE. CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION AND TIE DOWN REQUIREMENTS.

SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS. CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE DESIGN TEAMS BASIC LAYOUT AND SELECTIONS SUGGESTED.

SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE AND OTHER RELATED SITE WORK REQUIREMENTS.

SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNERS REPRESENTATIVE.

BY APPLYING FOR A BUILDING PERMIT AND OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE DESIGN TEAM TO THE OWNER OF THE PROJECT FOR ALL CLAIMS, LOSSES, DAMAGES OF ANY NATURE, WHATSOEVER OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE DESIGN TEAMS TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR MUST REQUEST IN WRITING THE CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE A COMPLETE AND ACCURATE REPRESENTATION OF SUCH CONDITIONS.

WHEN THE DESIGN TEAMS DRAWINGS ARE IN CONFLICT WITH THE ENGINEERING AND CONSULTANTS DRAWINGS THE GENERAL CONTRACTOR MUST REQUEST IN WRITING CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING WITH ANY CONSTRUCTION.

**I.R.C. - 2018
BUILDING CODES ICC 600-2014**

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS OF THE BUILDING AND SYSTEMS, THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE, FEDERAL AND OTHER APPLICABLE CODES. (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY DESIGN TEAM OF NON COMPLIANT DESIGN, OR QUESTIONS CONCERNING COMPLIANCE, PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

SOIL CONDITIONS

REFER TO GEO-TECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

**COVER
SCALE: N.T.S
C - 100 - 1**

PROJECT AREA

FIRST FLOOR LIVING AREA: 1,674.88 Square feet
SECOND FLOOR LIVING AREA: 1,540.91 Square feet

COVERED PORCH - MAIN AREA: 179.66 Square feet
COVERED PORCH - BEACH AREA: 64.16 Square feet
COVERED PORCH - GUEST AREA: 41.66 Square feet
COVERED PORCH - GUEST UPPER AREA: 41.66 Square feet

GARAGE AREA: 1,835.52 Square feet

TOTAL COOLED LIVING AREA: 3,215.79 Square feet

TOTAL FRAMED AREA: 5,378.45 Square feet

(FOR REFERENCE ONLY)
AREAS SUBJECT TO CHANGE WITHOUT NOTICE
ALL CALCULATIONS ARE THE EXTERIOR OF FRAMING

SITE AREA:

SITE AREA: (PER SURVEY) 0.277 ACRES

BUILDING FOOT PRINT: 12,028.41 square feet

LOT COVERAGE: 16%

EXISTING STRUCTURE AREA: 1,039.04 Square feet

DRAWING SYMBOLS

DESIGNATES - C.M.U. WALL

DESIGNATES - BRICK

DESIGNATES - 2x4 @ 16" O.C. STUD WALL 2 x 4

DESIGNATES - 2x6 @ 16" O.C. STUD WALL 2 x 6

DESIGNATES - 2x8 @ 16" O.C. STUD WALL 2 x 8

DESIGNATES - UNFINISHED CONCRETE

DETAIL DESIGNATION - WITH VIEW DIRECTION

WINDOW DESIGNATION

DOOR DESIGNATION

POINT ELEVATION

ELEVATION CHANGE

INTERIOR DETAIL VIEW DIRECTION

DETAIL DESIGNATION

ABBREVIATIONS

CONCRETE MASONRY UNIT	C.M.U.
€	€
CASED OPENING	CO
DOWN	DN.
UP	UP
DESIGN PRESSURE	D.P.
EQUAL	EQ.
WELDED WIRE MESH	W.W.M.
ON CENTER	O.C.

FINISH SYMBOLS

CULTURED MARBLE	(CM)
GRANITE	(G)
MARBLE	(M)
LAMINATED TOP	(L)
TILE	(T)
GLASS	(GL)
SOLID SURFACE	(SS)
CAST IRON	(CI)
FIBERGLASS	(FG)
STONE	(S)
DRYWALL	(DW)

VERIFY ALL FINISH TYPES WITH INTERIOR SELECTION SHEETS

(FOR REFERENCE ONLY)

SEE THE MATERIAL SELECTION SHEET AND ALL INTERIOR DESIGN DRAWINGS FOR OVERALL FINISH NOTES UNLESS OTHERWISE NOTED

ALL SQUARE AND LINEAR FOOTAGE'S ARE FOR PRICING PURPOSES. ONLY AND ARE SUBJECT TO CHANGE. VERIFY ALL CALCULATIONS WITH SPECIFICATIONS PRIOR TO USE.

EXISTING CONDITIONS

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EXISTING STRUCTURE TO BE RAISED AND ALIGNED WITH NEW FINISHED FIRST FLOOR USE AND REPAIR AS REQUIRED.

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED V35 = 135 MPH
EXPOSURE CATEGORY "B" **ICC 600-2014
I.R.C. - 2018**

FLOOD ZONE PER SURVEY **V.E. 12**
MINIMUM F.F.F. PER SURVEY **12 - 13**

DRAWING INDEX

- 1 C - 100 COVER
- 2 L - 100 SITE PLAN
- 3 L - 101 SITE PLAN
- 4 L - 102 LANDSCAPE PLAN
- 5 A - 000 EXISTING CONDITIONS
- 6 A - 100 FIRST FLOOR PLAN
- 7 A - 101 SECOND FLOOR PLAN
- 8 A - 103 GARAGE FLOOR PLAN
- 9 A - 104 WINDOW AND DOOR NOTES
- 10 A - 200 EXTERIOR ELEVATIONS
- 11 A - 201 EXTERIOR ELEVATIONS
- 12 A - 202 EXTERIOR ELEVATIONS
- 13 A - 203 EXTERIOR ELEVATIONS
- 14 A - 300 BUILDING SECTIONS - ROOF PLAN
- 15 A - 301 BUILDING SECTIONS
- 16 A - 400 WALL DETAILS
- 17 A - 401 WALL DETAILS
- 18 S - 100 FOUNDATION PLAN
- 19 S - 101 STRUCTURAL NOTES
- 20 E - 100 ELECTRICAL PLANS
- 21 E - 101 ELECTRICAL PLANS
- 22 E - 102 ELECTRICAL PLANS



FRONT EXTERIOR ELEVATION - REDUCED

SCALE: N.T.S

C - 100 - 2

RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION
6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE
CHATHAM COUNTY

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THE BUILDER AND OWNER ARE RESPONSIBLE FOR RETAINING A STRUCTURAL ENGINEER AND THE COORDINATION OF THE DESIGN DRAWINGS AND THE STRUCTURAL DESIGN.

DESIGN TEAM

OWNER

RICHARDSON

GENERAL CONTRACTOR

DESIGN TEAM

SAWYER DESIGN STUDIO, L.L.C.,
22 WEST BRYAN STREET - SUITE 321 - SAVANNAH - GEORGIA
912.704.1955
jjeonard@sawyerdd.com

ENVIRONMENTAL

ENVIRONMENTAL SCIENCE & TECHNOLOGIES INC
POST OFFICE BOX 30548 - SAVANNAH - GEORGIA - 31410
912-224-7312
tmerrill@est-savannah.com

STRUCTURAL ENGINEER

S. MARK BOYLES P.E.
PO BOX 22324 - SAVANNAH - GEORGIA -31403
912-232-7130
smboyles@bellsouth.net

CIVIL ENGINEER

MAUPIN ENGINEERING
114 WEST 42nd STREET - SAVANNAH - GEORGIA -31410
912-235-2915
jay@maupinengineering.com

SURVEY

BREWER LAND SURVEYING - PO BOX 441 - POOLER - GEORGIA -31322
912-856-2205
craig@brewersurvey.com

INCLUSIONS

MARKED ITEMS ONLY

- 1 BUILDER LEVEL DESIGN DRAWINGS - STANDARD
- 2 STRUCTURAL ENGINEERING - UP-LIFT CONSULTATION
- 3 STRUCTURAL ENGINEERING - FRAMING PACKAGE
- 4 ME&P ENGINEERING
- 5 CIVIL ENGINEERING - CERTIFIED DRAINAGE
- 6 INTERIOR DESIGN - SELECTIONS
- 7 CABINETRY DESIGN
- 8 LANDSCAPE DESIGN
- 9 POOL - SPA DESIGN

PROJECT DATES

05.02.2022

- 1 PROJECT INITIATION 08.01.2021
- 2 PLAN REVIEW 09.18.2016
- 3 CLOSING 10.05.2021
- 4 PLAN REVIEW 11.15.2021
- 5 30% DESIGN REVIEW 01.04.2022
- 6 60% DESIGN REVIEW 02.04.2022
- 7 100% DESIGN REVIEW 03.14.2022
- 8 PRICING 03.14.2022
- 9 LIVING ROOM ADJUSTMENT 03.28.2022
- 10 STRUCTURAL REVIEW 03.28.2022
- 11 COVERED PORCH ADDITION 04.12.2022
- 12 PERMIT 05.02.2022



COVER 24 x 36

PERMIT

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RICHARDSON
21 - 039
SINGLE FAMILY RESIDENCE - RENOVATION
05.02.2022
8 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY
REV

C - 100
SINGLE USE ONLY
01 - 22

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED V33 = 135 MPH EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018
V.E. 12
12 - 13

FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY

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SURVEYOR'S NOTES

- THE ELEVATIONS SHOWN ARE BASED ON NAVD88 DATUM. THE CONTOUR INTERVAL IS 1 FOOT.
- COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP 13051C0214G, REVISED 08/16/2018, THIS PROPERTY LIES IN ZONE AE AND ZONE VE WITH BASE FLOOD ELEVATIONS (BFE) AS SHOWN. THE FLOOD LINE HAS BEEN TAKEN FROM DIGITAL DATA PREPARED BY F.E.M.A. AND IS APPROXIMATE.
- ONLY ABOVEGROUND, READILY VISIBLE STRUCTURES WERE LOCATED FOR THIS SURVEY. THIS SURVEYOR MAKES NO WARRANTY OR GUARANTEE AS TO THE LOCATION, EXISTENCE, OR NONEXISTENCE OF ANY BELOW GROUND, NON-VISIBLE UTILITIES OR STRUCTURES.

REFERENCES

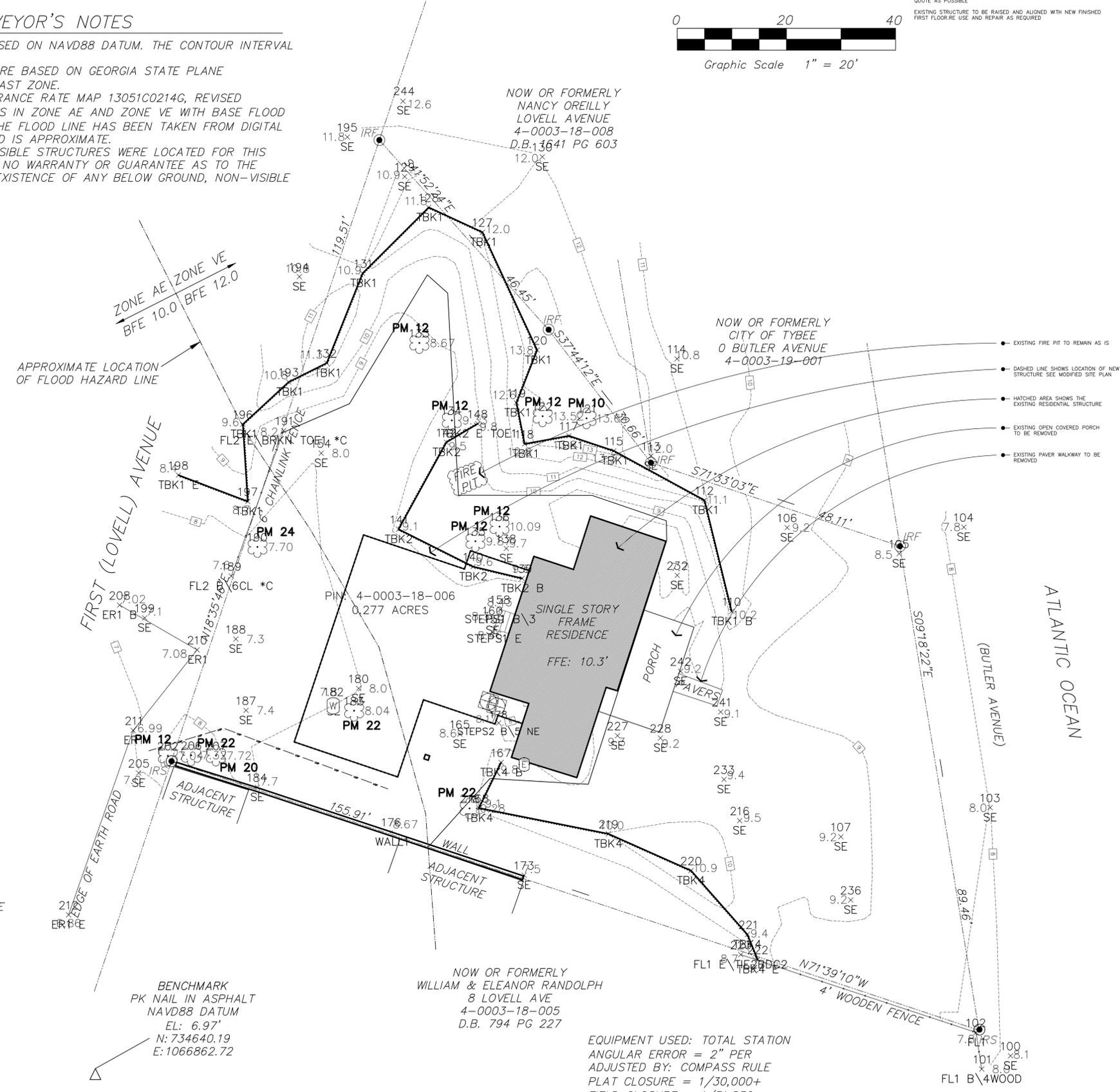
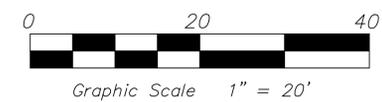
- S.M.B. 00C PG 14
- P.B. P PG 208

LEGEND

- IRS IRON ROD SET
- IRF IRON ROD FOUND
- ⊕ ELECTRIC METER
- ⊕ WATER METER
- ⊕ AIR CONDITIONING
- x 8.1 SPOT ELEVATION
- TOP OF BANK
- UGP UNDERGROUND POWER
- 8 — CONTOUR LINE

TREE LEGEND

- SIZE OF SYMBOL DOES NOT INDICATE THE SIZE OF THE DRIP LINE/CANOPY LINE
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- TREE SIZE (IN INCHES)
- TREE TYPE
- TREE TYPE ABBREVIATIONS:
PM PALM
- DEAD TREES NOT SHOWN
ALL OTHERS SPELLED OUT
MULTIPLE TREE SIZES INDICATES COMMON BASE
"/D" INDICATES DISEASED TREE



- EXISTING FIRE PIT TO REMAIN AS IS
- DASHED LINE SHOWS LOCATION OF NEW RESIDENTIAL STRUCTURE SEE MODIFIED SITE PLAN
- HATCHED AREA SHOWS THE EXISTING RESIDENTIAL STRUCTURE
- EXISTING OPEN COVERED PORCH TO BE REMOVED
- EXISTING PAVEMENT WALKWAY TO BE REMOVED

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED V33 = 135 MPH EXPOSURE CATEGORY "B"

ICC 600-2014
I.R.C. - 2018
V.E. 12
12 - 13

FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION
6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



SITE PLAN - EXISTING 24 x 36

PERMIT

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EQUIPMENT USED: TOTAL STATION
ANGULAR ERROR = 2" PER
ADJUSTED BY: COMPASS RULE
PLAT CLOSURE = 1/30,000+
FIELD CLOSURE = 1/31,830

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DESIGN LOAD BASED ON WIND SPEED **ICC 600-2014**
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EXPOSURE CATEGORY "B" **I.R.C. - 2018**

FLOOD ZONE PER SURVEY **V.E. 12**

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GENERAL PROJECT NOTES

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RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



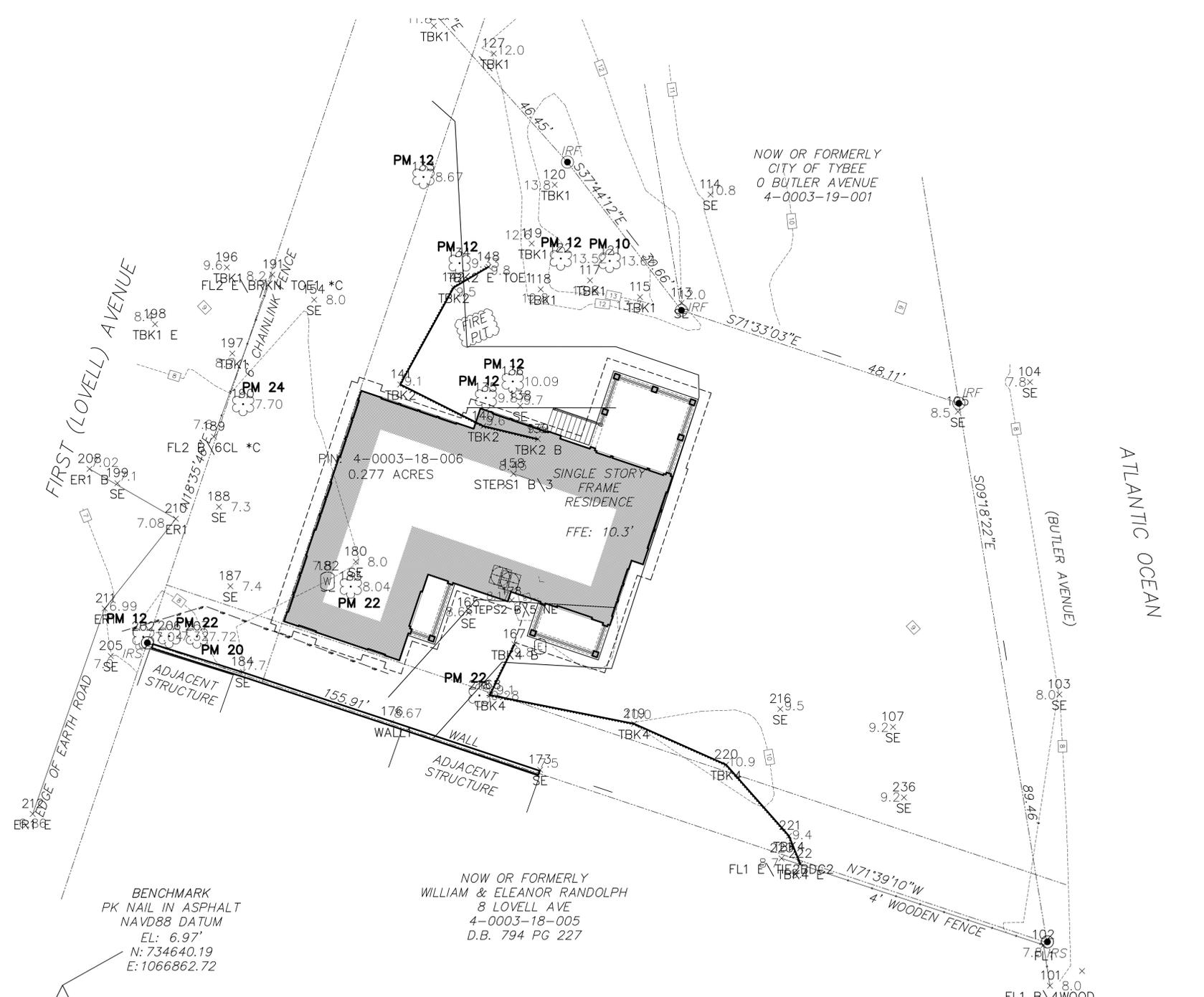
LANDSCAPE PLAN 24 x 36

PERMIT

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LANDSCAPE NOTES
SCALE: N.T.S.
L - 101 - 2



REFERENCES

1. S.M.B. 00C PG 14
2. P.B. P PG 208

LEGEND

- IRS IRON ROD SET
- IRF IRON ROD FOUND
- ⊕ ELECTRIC METER
- ⊕ WATER METER
- ⊕ AIR CONDITIONING
- x 8.1 SPOT ELEVATION
- TOP OF BANK
- UGP UNDERGROUND POWER
- 8 — CONTOUR LINE

TREE LEGEND

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V35 = 135 MPH **I.R.C. - 2018**
EXPOSURE CATEGORY "B" **V.E. 12**
12 - 13
FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY

EXISTING CONDITIONS

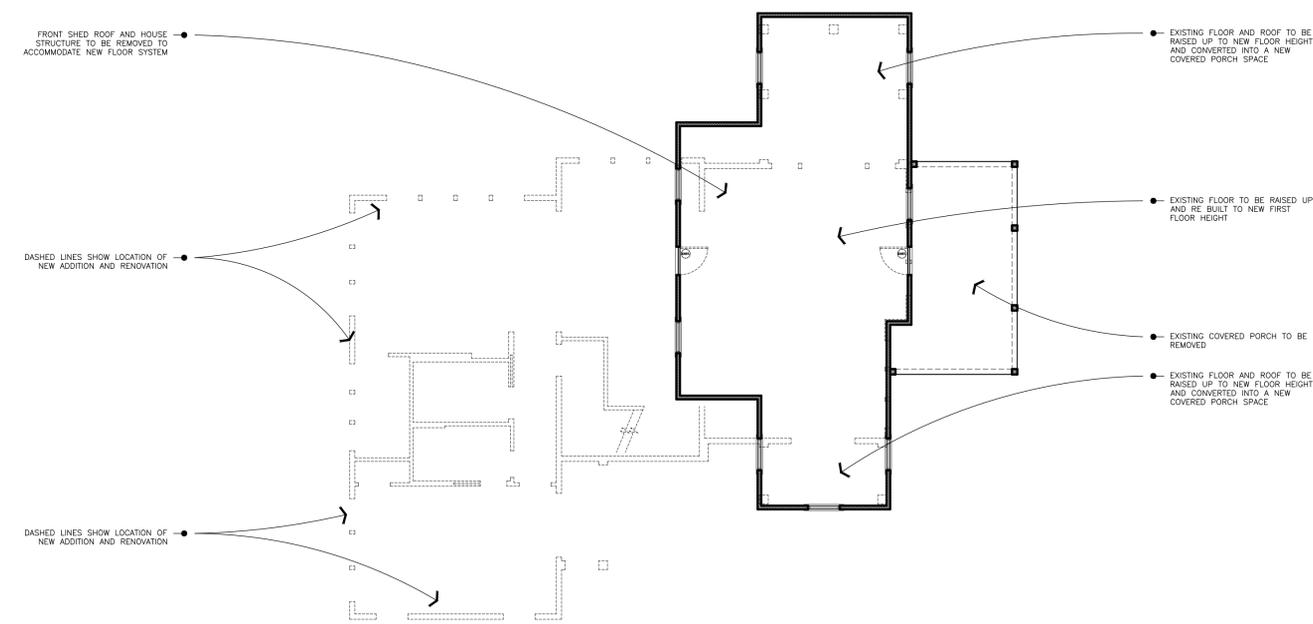
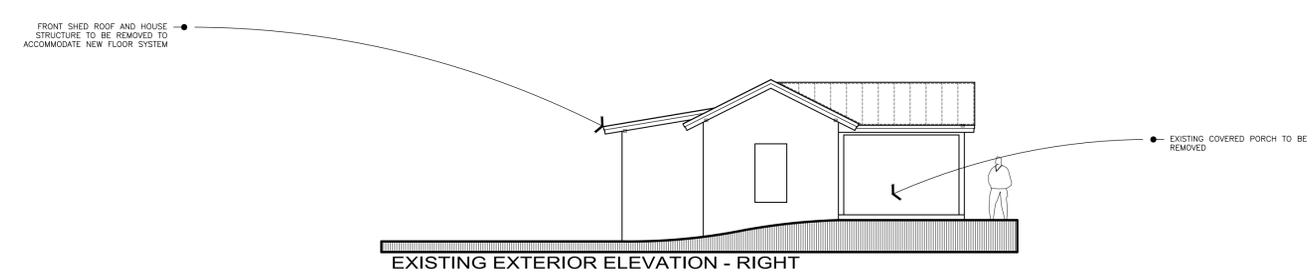
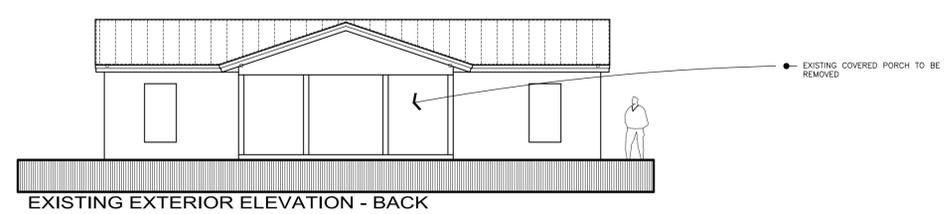
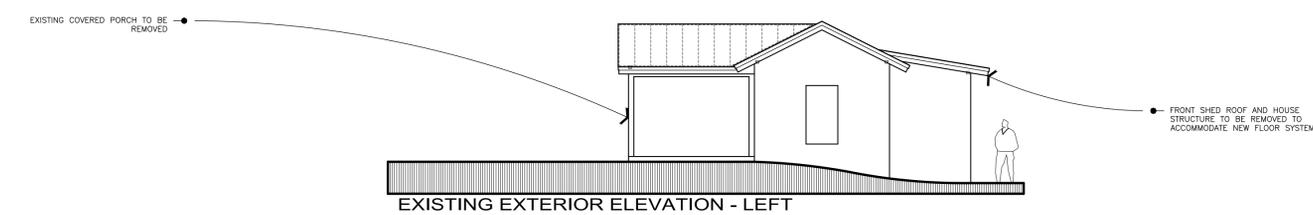
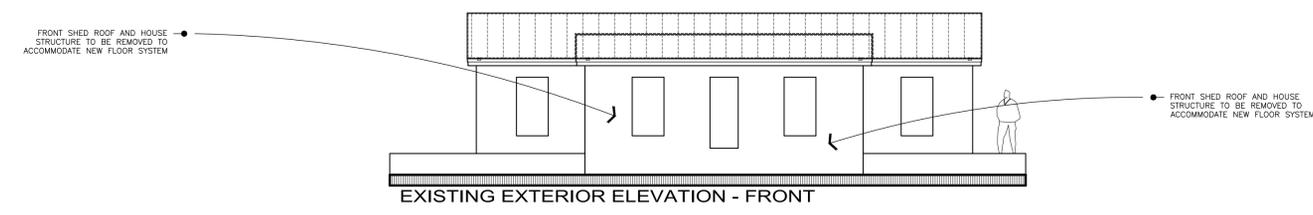
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EXISTING STRUCTURE TO BE RAISED AND ALIGNED WITH NEW FINISHED FIRST FLOOR USE AND REPAIR AS REQUIRED

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES
VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.
DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.
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GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.
INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS.
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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.
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STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED **ICC 600-2014**
V35 = 135 MPH **I.R.C. - 2018**
EXPOSURE CATEGORY "B" **V.E. 12**
12 - 13
FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.



RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION
6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



EXISTING CONDITIONS 24 x 36

PERMIT

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FIRST FLOOR PLAN - EXISTING
SCALE: 1/8" = 1'-0"
A - 000 - 1



RICHARDSON
SINGLE FAMILY RESIDENCE - RENOVATION
6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY
REV

21 - 039
06.02.2022

A - 000

05 - 22 SINGLE USE ONLY

EXISTING CONDITIONS

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DRAWING NOTES

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DESIGN LOAD BASED ON WIND SPEED ICC 600-2014
V35 = 135 MPH I.R.C. - 2018
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY V.E. 12

MINIMUM F.F.F. PER SURVEY 12 - 13

CEILING HEIGHTS
ALL FIRST FLOOR CEILING HEIGHTS ARE: 10'-11"
AND SECOND FLOOR CEILING HEIGHTS ARE: 9'-11"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

ROOF PITCH
ALL PRIMARY ROOF PITCHES ARE: 4-12
UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

ALL CABLE MODIFIED HP'S ARE: 4-12
UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

WINDOW PROTECTION
SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS

WINDOW MUTTONS & MULLIONS
ALL MUTTONS AND MULLIONS ARE STANDARD TYPE VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS

WINDOW SIZES
DO NOT SCALE WINDOW SIZES FROM DRAWINGS VERIFY SIZE WITH FLOOR PLAN ELEVATION

SITE GRADING
SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

H.V.A.C. - SERVICE YARD
VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

SHUTTERS
DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY SEE A.R.B. COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION

EXTERIOR DOORS AND WINDOWS
ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES

EXTERIOR LOUVERS
ALL LOUVERS BELOW THE F.E.M.A. REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH I.R.C. SECTION 324.2.2

ROOF SHINGLES
ALL ROOF SHINGLES SHALL MEET A.S.T.M. 3161D CLASS F PER I.R.C. SECTION 905.2.1

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

PRIMARY ROOF PITCH
4-12
SEE NOTES FOR CLARIFICATION

STONE BRICK FINISH IS SHOWN FOR LOCATION ONLY VERIFY WITH SPECIFICATION FOR TYPE AND FINISH

VERIFY ALL FINISHED ELEVATION HEIGHTS WITH FLOOR PLANS AND ELEVATION PAGES

INTERIOR FINISHES
SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

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DESIGN LOAD BASED ON WIND SPEED ICC 600-2014
V35 = 135 MPH I.R.C. - 2018
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY V.E. 12

MINIMUM F.F.F. PER SURVEY 12 - 13

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA

CITY OF TYBEE ISLAND
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATION - FRONT 24 x 36

PERMIT

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RICHARDSON
SINGLE FAMILY RESIDENCE - RENOVATION
6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

21 - 039
06.02.2022

REV

A - 200
SINGLE USE ONLY

10 - 22

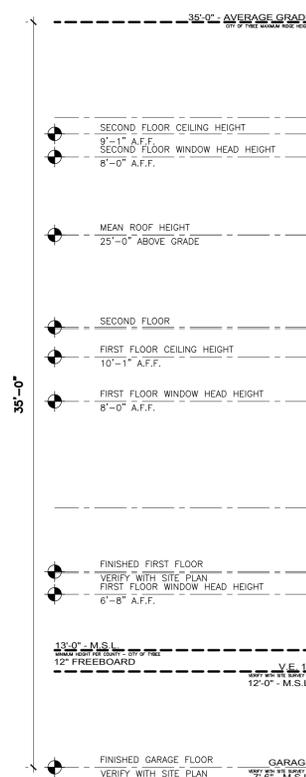
WARNING
THE OVERALL FINISHED ROOF OVERHANG CANNOT EXCEED 2'-0" PER THE CITY OF TYBEE
THE GENERAL CONTRACT IS TO VERIFY THE OVERHANG WITH SURVEYOR PRIOR TO FRAMING INSPECTION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WARNING
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THE GENERAL CONTRACTOR IS TO VERIFY THE BASE MEASURING POINT FROM THE CITY OF TYBEE PRIOR TO FOUNDATION POUR

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION



WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH
4-12
SEE NOTES FOR CLARIFICATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

STONE BRICK FINISH IS SHOWN FOR LOCATION ONLY VERIFY WITH SPECIFICATION FOR TYPE AND FINISH

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VERIFY ALL FINISHED ELEVATION HEIGHTS WITH FLOOR PLANS AND ELEVATION PAGES

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DRAWING NOTES

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STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS ICC 600-2014
DESIGN LOAD BASED ON WIND SPEED V35 = 135 MPH
EXPOSURE CATEGORY "B" I.R.C. - 2018

FLOOD ZONE PER SURVEY V.E. 12

MINIMUM F.F.F. PER SURVEY 12 - 13

CEILING HEIGHTS
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VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

ROOF PITCH
ALL PRIMARY ROOF PITCHES ARE: 4-12
UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

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H.V.A.C. - SERVICE YARD
VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

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ROOF SHINGLES
ALL ROOF SHINGLES SHALL MEET A.S.T.M. 31610 CLASS F PER I.R.C. SECTION 905.2.1

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

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FLOOD ZONE PER SURVEY V.E. 12

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VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH
4-12
SEE NOTES FOR CLARIFICATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

STONE BRICK FINISH IS SHOWN FOR LOCATION ONLY VERIFY WITH SPECIFICATION FOR TYPE AND FINISH

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

VERIFY ALL FINISHED ELEVATION HEIGHTS WITH FLOOR PLANS AND ELEVATION PAGES

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES
SEE THE INTERIOR DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

RICHARDSON
SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL

EXTERIOR ELEVATION - LEFT 24 x 36

PERMIT

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RICHARDSON 21-039
SINGLE FAMILY RESIDENCE - RENOVATION 06.02.2022

6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

REV

A - 201

11 - 22 SINGLE USE ONLY

WARNING
THE OVERALL FINISHED ROOF OVERHANG CANNOT EXCEED 2'-0" PER THE CITY OF TYBEE
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THE GENERAL CONTRACTOR IS TO VERIFY THE BASE MEASURING POINT FROM THE CITY OF TYBEE PRIOR TO FOUNDATION POUR

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

35'-0" AVERAGE GRADE
OFF OF TYPICAL ROAD SURFACE

SECOND FLOOR CEILING HEIGHT
9'-11" A.F.F.
SECOND FLOOR WINDOW HEAD HEIGHT
8'-0" A.F.F.

MEAN ROOF HEIGHT
25'-0" ABOVE GRADE

SECOND FLOOR
FIRST FLOOR CEILING HEIGHT
10'-11" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN
FIRST FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

13'-0" M.S.L.
12'-0" FREEBOARD
V.E. 12
12'-0" M.S.L.

FINISHED GARAGE FLOOR
VERIFY WITH SITE PLAN
GARAGE
7'-6" M.S.L.

V.E. 12
0'-0" M.S.L.



35'-0"

13'-0" M.S.L.
12'-0" FREEBOARD
V.E. 12
12'-0" M.S.L.

FINISHED GARAGE FLOOR
VERIFY WITH SITE PLAN
GARAGE
7'-6" M.S.L.

V.E. 12
0'-0" M.S.L.

RICHARDSON 21-039
SINGLE FAMILY RESIDENCE - RENOVATION 06.02.2022

6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

REV

A - 201

11 - 22 SINGLE USE ONLY

EXTERIOR ELEVATION - LEFT

SCALE: 1/4" = 1'-0"

A - 201 - 1

0' 1' 4' 8' 16'

RICHARDSON 21-039
SINGLE FAMILY RESIDENCE - RENOVATION 06.02.2022

6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
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FLOOD ZONE PER SURVEY **V.E. 12**

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AND SECOND FLOOR CEILING HEIGHTS ARE: **9'-11"**

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ROOF PITCH
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UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

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VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

SHUTTERS
DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY SEE A.R.B. COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION

EXTERIOR DOORS AND WINDOWS
ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES

EXTERIOR LOUVERS
ALL LOUVERS BELOW THE F.E.M.A. REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH I.R.C. SECTION 324.2.2

ROOF SHINGLES
ALL ROOF SHINGLES SHALL MEET A.S.T.M. 3161D CLASS F PER I.R.C. SECTION 905.2.1

STAIRS
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GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

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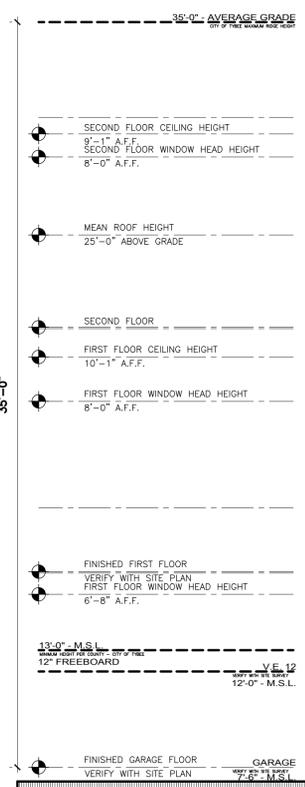
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WARNING
THE OVERALL FINISHED ROOF OVERHANG CANNOT EXCEED 2'-0" PER THE CITY OF TYBEE
THE GENERAL CONTRACT IS TO VERIFY THE OVERHANG WITH SURVEYOR PRIOR TO FRAMING INSPECTION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WARNING
THE OVERALL FINISHED ROOF RIDGE HEIGHT CANNOT EXCEED 35'-0" FROM GRADE PER THE CITY OF TYBEE
THE GENERAL CONTRACT IS TO VERIFY THE OVERALL HEIGHT WITH SURVEYOR PRIOR TO FRAMING INSPECTION
THE GENERAL CONTRACTOR IS TO VERIFY THE BASE MEASURING POINT FROM THE CITY OF TYBEE PRIOR TO FOUNDATION POUR

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION



WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH
4 - 12
SEE NOTES FOR CLARIFICATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

STONE BRICK FINISH IS SHOWN FOR LOCATION ONLY VERIFY WITH SPECIFICATION FOR TYPE AND FINISH

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

VERIFY ALL FINISHED ELEVATION HEIGHTS WITH FLOOR PLANS AND ELEVATION PAGES

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES
SEE THE INTERIOR DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

RICHARDSON
SINGLE FAMILY RESIDENCE - RENOVATION
6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATION - RIGHT 24 x 36

PERMIT

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

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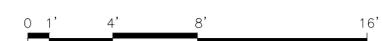
RICHARDSON
SINGLE FAMILY RESIDENCE - RENOVATION
6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

21 - 039
06.02.2022

REV

A - 202
SINGLE USE ONLY

EXTERIOR ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"
A - 202 - 1



EXISTING CONDITIONS

DESIGN DOCUMENTS ARE BASED ON VISUAL MEASUREMENTS TAKEN AND MAY NOT ACCURATELY SHOW THE CORRECT AND OR EXACT CONDITIONS ESPECIALLY NON-VISIBLE CONDITIONS. VERIFY ALL CRITICAL DIMENSIONS WALL THICKNESS CEILING HEIGHTS PRIOR TO ANY ORDERING OF SYSTEMS WINDOWS AND DOORS.

NOTATIONS ON THESE DESIGN DOCUMENTS MAY NOT FULLY REFLECT ALL THE WORK NECESSARY TO COMPLETE THE INTENT OF WHAT IS DRAWN. THEREFORE THE GENERAL CONTRACTOR SHALL SITE VERIFY ALONG WITH THE SUB CONTRACTORS DURING ALL PRICING, PRE-ARRANGE INSPECTIONS OF THE PROPERTY WITH THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL MAKE TO THE BEST OF THEIR ABILITY VISUAL NON-DESTRUCTIVE INSPECTIONS OF THE AREAS EFFECTED BY THE WORK IN ORDER TO GIVE A COMPLETE QUOTE AS POSSIBLE.

EXISTING STRUCTURE TO BE RAISED AND ALIGNED WITH NEW FINISHED FIRST FLOOR USE AND REPAIR AS REQUIRED.

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS ICC 600-2014
DESIGN LOAD BASED ON WIND SPEED V35 = 135 MPH
EXPOSURE CATEGORY "B" I.R.C. - 2018

FLOOD ZONE PER SURVEY V.E. 12

MINIMUM F.F.F. PER SURVEY 12 - 13

CEILING HEIGHTS
ALL FIRST FLOOR CEILING HEIGHTS ARE: 10'-11"
AND SECOND FLOOR CEILING HEIGHTS ARE: 9'-11"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

ROOF PITCH
ALL PRIMARY ROOF PITCHES ARE: 4-12
UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

ALL CABLE MODIFIED HPS ARE: 4-12
UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

WINDOW PROTECTION
SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS

WINDOW MUTTONS & MULLIONS
ALL MUTTONS AND MULLIONS ARE STANDARD TYPE VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS

WINDOW SIZES
DO NOT SCALE WINDOW SIZES FROM DRAWINGS VERIFY SIZE WITH FLOOR PLAN ELEVATION

SITE GRADING
SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

H.V.A.C. - SERVICE YARD
VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

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ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES

EXTERIOR LOUVERS
ALL LOUVERS BELOW THE F.E.M.A. REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH I.R.C. SECTION 324.2.2

ROOF SHINGLES
ALL ROOF SHINGLES SHALL MEET A.S.T.M. 3161D CLASS F PER I.R.C. SECTION 905.2.1

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS ICC 600-2014
DESIGN LOAD BASED ON WIND SPEED V35 = 135 MPH
EXPOSURE CATEGORY "B" I.R.C. - 2018

FLOOD ZONE PER SURVEY V.E. 12

MINIMUM F.F.F. PER SURVEY 12 - 13

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH
4-12
SEE NOTES FOR CLARIFICATION
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

STONE BRICK FINISH IS SHOWN FOR LOCATION ONLY VERIFY WITH SPECIFICATION FOR TYPE AND FINISH
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

VERIFY ALL FINISHED ELEVATION HEIGHTS WITH FLOOR PLANS AND ELEVATION PAGES
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES
SEE THE INTERIOR DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATION - BACK

24 x 36

PERMIT

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RICHARDSON 21 - 039
SINGLE FAMILY RESIDENCE - RENOVATION 06.02.2022
6 LOVELL AVENUE
TYBEE ISLAND - GEORGIA
CITY OF TYBEE ISLAND
CHATHAM COUNTY
REV

A - 203
SINGLE USE ONLY
13 - 22

WARNING
THE OVERALL FINISHED ROOF OVERHANG CANNOT EXCEED 2'-0" PER THE CITY OF TYBEE
THE GENERAL CONTRACT IS TO VERIFY THE OVERHANG WITH SURVEYOR PRIOR TO FRAMING INSPECTION
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WARNING
THE OVERALL FINISHED ROOF RIDGE HEIGHT CANNOT EXCEED 35'-0" FROM GRADE PER THE CITY OF TYBEE
THE GENERAL CONTRACT IS TO VERIFY THE OVERALL HEIGHT WITH SURVEYOR PRIOR TO FRAMING INSPECTION
THE GENERAL CONTRACTOR IS TO VERIFY THE BASE MEASURING POINT FROM THE CITY OF TYBEE PRIOR TO FOUNDATION POUR
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

