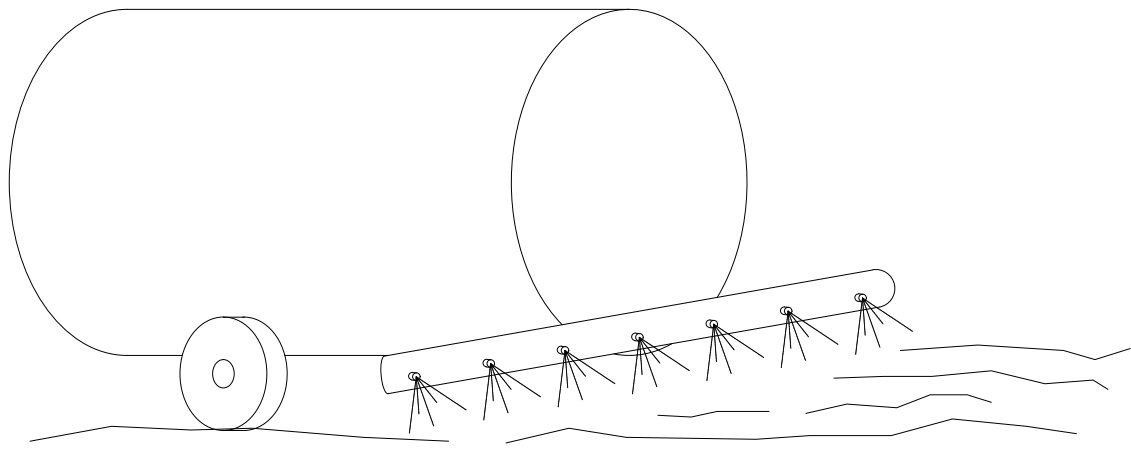


GENERAL CONSTRUCTION NOTES:

ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CURRENT TYBEE ISLAND DESIGN STANDARDS, SPECIFICATIONS AND DETAILS OR AS OTHERWISE ISSUED FOR THIS PROJECT. WHERE ANY CONFLICT EXISTS BETWEEN THESE PLANS AND/OR SPECIFICATIONS AND/OR CONSTRUCTION DETAILS AND THE TYBEE ISLAND STANDARDS, SPECIFICATIONS, DETAILS AND DEVELOPMENT ORDINANCE(S), THE TYBEE ISLAND STANDARDS SHALL PREVAIL.

- LAYOUT TO BE CONTROLLED BY EXISTING BENCHMARK.
- DIMENSIONS TO CURB AND GUTTER ARE TO FACE OF CURB.
- DIMENSIONS TO WALK ARE TO FACE OF WALK.
- DIMENSIONS TO BUILDING ARE TO FACE OF BUILDING.
- DIMENSIONS TO STRIPING IS TO CENTERLINE OF STRIPING.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
- BLUE METAL REFLECTIVE SIGN AT LEAST 12" IN WIDTH AND 18" IN LENGTH AND ERECTED AT 7' ABOVE GRADE IN SUCH MANNER SO AS TO BE CLEARLY VISIBLE TO THE PARKING VEHICLE. THE SIGN SHALL HAVE PRINTED IN WHITE LETTERS NOT LESS THAN ONE INCH IN HEIGHT ON THREE SEPARATE LINES AND CENTERED THE FOLLOWING WORDS: "PERMIT PARKING ONLY", "TOW-AWAY ZONE" AND "MAXIMUM FINE \$500.00". SUCH SIGNS SHALL ALSO DISPLAY THE SYMBOL FOR HANDICAP ACCESSIBILITY CENTERED BETWEEN THE SECOND AND THIRD LINES. VAN ACCESSIBLE SPACE SHALL HAVE ADDITIONAL SIGN WITH THE FOLLOWING WORDS: "VAN ACCESSIBLE".
- TRAFFIC CONTROL DEVICES SHALL BE USED ON ALL WORK ON THIS PROJECT IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION. THE COST TO COMPLY SHALL BE INCLUDED IN THE OVERALL COST OF THE PROJECT.
- REFERENCE SURVEYS:
  - BOUNDARY & TOPOGRAPHIC SURVEY - PREPARED BY BREWER LAND SURVEYING (08/05/2021).
  - VERTICAL DATUM: NAVD88 HORIZONTAL DATUM: NAD83
  - PROJECT IS ON STATE PLANE COORDINATES.
  - MAUPIN ENGINEERING, INC. DOES NOT ACCEPT ANY RESPONSIBILITY FOR ACCURACY OF PROVIDED SURVEY INFORMATION.
  - ONLY ABOVE GROUND, READILY VISIBLE STRUCTURES, UTILITIES AND SURFACE PAINT MARKINGS WERE LOCATED FOR THIS SURVEY. THIS SURVEYOR MAKES NO WARRANTY OR GUARANTEE AS TO THE LOCATION, EXISTENCE, OR NON-EXISTENCE OF ANY BELOWGROUND, NON-VISIBLE UTILITIES OR STRUCTURES. CONTRACTOR SHALL FIELD VERIFY LOCATION, TYPE, SIZE, MATERIAL AND GENERAL CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL GRADED EARTH NOT OTHERWISE STABILIZED WITH BUILDING, PAVEMENT OR VEGETATION SHALL BE GRASSED OR SODDED.
- OWNER SHALL ACCEPT MAINTENANCE OF THE STORM DRAINAGE SYSTEM, INCLUDING ROOF DRAIN CONNECTIONS, WITHIN THE LIMITS OF THE PROPERTY. CITY/COUNTY NAME WILL NOT MAINTAIN THE STORM DRAINAGE SYSTEM WITHIN THE PROPERTY. THIS SITE IS DESIGNED TO DISCHARGE STORM WATER RUNOFF INTO THE APPROVED MASTER DRAINAGE CONVEYANCE AND DETENTION SYSTEM.
- DITCHES, ALL DRAINAGE STRUCTURES, ORIFICES AND PAVEMENT ELEVATIONS SHALL BE SURVEYED FOR "AS-BUILT" DRAWINGS ALONG WITH THE WATER AND SANITARY SEWER SERVICES.
- ADJUST EXISTING MANHOLE FRAMES, GRATES AND VALVE BOXES TO GRADE AS NEEDED.
- ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
- MATCH EXISTING PAVEMENT GRADE ELEVATIONS WHERE CONNECTING TO EXISTING PAVEMENT.
- FILL BENEATH BUILDINGS SHALL BE COMPACTED IN ACCORDANCE WITH BUILDING STRUCTURAL SPECIFICATIONS.
- CONTRACTOR TO FIELD VERIFY DURING CONSTRUCTION ANY EXISTENCE OF SUB-SURFACE DEBRIS OR ORGANIC MATERIAL. ANY SUB-SURFACE DEBRIS OR ORGANIC MATERIAL FOUND SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2' BELOW GRADED AGGREGATE BASE IN PAVEMENT AREAS AND 2' BELOW BOTTOM OF FOOTINGS FOR BUILDINGS (CONTRACTOR SHALL CONSULT WITH BUILDING STRUCTURAL ENGINEER FOR ANY WORK BENEATH OR ADJACENT TO BUILDING AND/OR ABOVE OR BELOW GRADE STRUCTURES). IF EXCESSIVE DEBRIS OR ORGANIC MATERIAL IS FOUND, ENGINEER SHALL BE CONTACTED FOR INSPECTION. REMOVAL OF INSPECTED MATERIAL SHALL BE DIRECTED BY THE ENGINEER.
- ALL EROSION AND SEDIMENT CONTROL DEVICES (BMPs) SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL AND BE MAINTAINED BY CONTRACTOR UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE GOVERNING NPDES GENERAL PERMIT.
- IF A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED, AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN SUCH PERMIT.
- THE CITY/COUNTY NAME INSPECTIONS DEPARTMENT RESERVES THE RIGHT TO ACCESS PROPERTY TO INSPECT STORM WATER FACILITIES AT ANY TIME.
- CHLORINATED, DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORM WATER SYSTEM.
- TRAFFIC CONTROL AND FLOW SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- A MINIMUM SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL INSTALLED OR RELOCATED UTILITIES AND LARGE AND MEDIUM TREES.
- ANY AND ALL STREET LIGHTING, LANDSCAPE, SIDEWALK AND ACCESSIBILITY REQUIREMENTS TO BE PERFORMED, DESIGNED AND/OR CONSTRUCTED SHALL BE COORDINATED WITH CIVIL ENGINEER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND/OR MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR THE ROOF DRAIN SYSTEM. COLLECTION AND DISCHARGE SHALL BE COORDINATED WITH CIVIL ENGINEER.
- SITE CIVIL PLANS SHALL TERMINATE 5' FROM BUILDING FACE UNLESS OTHERWISE NOTED. CONTINUATION OF WATER, SANITARY SEWER AND STORM DRAINAGE LATERALS SHALL BE COORDINATED WITH BUILDING CONTRACTOR IN ACCORDANCE WITH ARCHITECTURAL AND/OR MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE APPROPRIATE JURISDICTIONS APPROVED CONSTRUCTION SPECIFICATIONS AND DETAILS.
- THE OWNER, OWNER'S REPRESENTATIVES, CITY/COUNTY NAME AND OTHER REGULATORY AGENCIES SHALL HAVE THE RIGHT TO ACCESS THE SITE AT ANY TIME FOR PURPOSES OF OBSERVING WORK PERFORMED.
- ALL UTILITIES ARE SHOWN AS APPROXIMATE ON THE PLANS AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. SOME UTILITIES AND SERVICE LINE LOCATIONS ARE UNKNOWN AND NOT SHOWN ON THE PLANS. THIS DOES NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO PROTECT EXISTING UNDERGROUND FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A VALID UTILITY LOCATE TICKET FROM THE GEORGIA UTILITIES PROTECTION CENTER (811 / 800-282-7411), AND COORDINATION WITH OTHER SUCH LOCAL UTILITIES AS MAY BE REQUIRED.
- THE CONTRACTOR WILL PROTECT ALL TREES NOTED TO REMAIN WITHIN AND ADJACENT TO THE CONSTRUCTION ZONE. ANY UNAUTHORIZED REMOVAL OF TREES NOTED TO REMAIN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REESTABLISH TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. ALL BORROW MATERIAL SHALL BE CLEAN AND FREE OF DEBRIS AND ORGANIC MATERIAL AND SUFFICIENT TO COMPACT TO A MINIMUM BEARING CAPACITY OF 2,500PSF OR AS OTHERWISE SPECIFIED.
- ALL ITEMS CLEARED OR DEMOLISHED FROM THE SITE, INCLUDING SPOIL MATERIAL TO BE REMOVED FOR OFF-SITE DISPOSAL, ARE THE PROPERTY OF THE CONTRACTOR UNLESS THEY ARE TO BE REUSED ON THE SITE OR OTHERWISE NOTED. NO BURYING OR BURNING OF DEBRIS WILL BE ALLOWED ON THIS SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BEST MANAGEMENT PRACTICES (BMP'S) ON THE SITE AT ALL TIMES IN ACCORDANCE WITH THESE PLANS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL OF GEORGIA".



CONTRACTOR SHALL EMPLOY THE FOLLOWING TEMPORARY METHODS TO LIMIT THE SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES:

\*TEMPORARY METHODS:  
-MULCHES  
-SPRAY ON ADHESIVES  
-TILLING  
-IRRIGATION  
-BARRIERS  
-CALCIUM CHLORIDE

\*PERMANENT METHODS  
-PERMANENT VEGETATION  
-TOPSOIL  
-STONE COVER

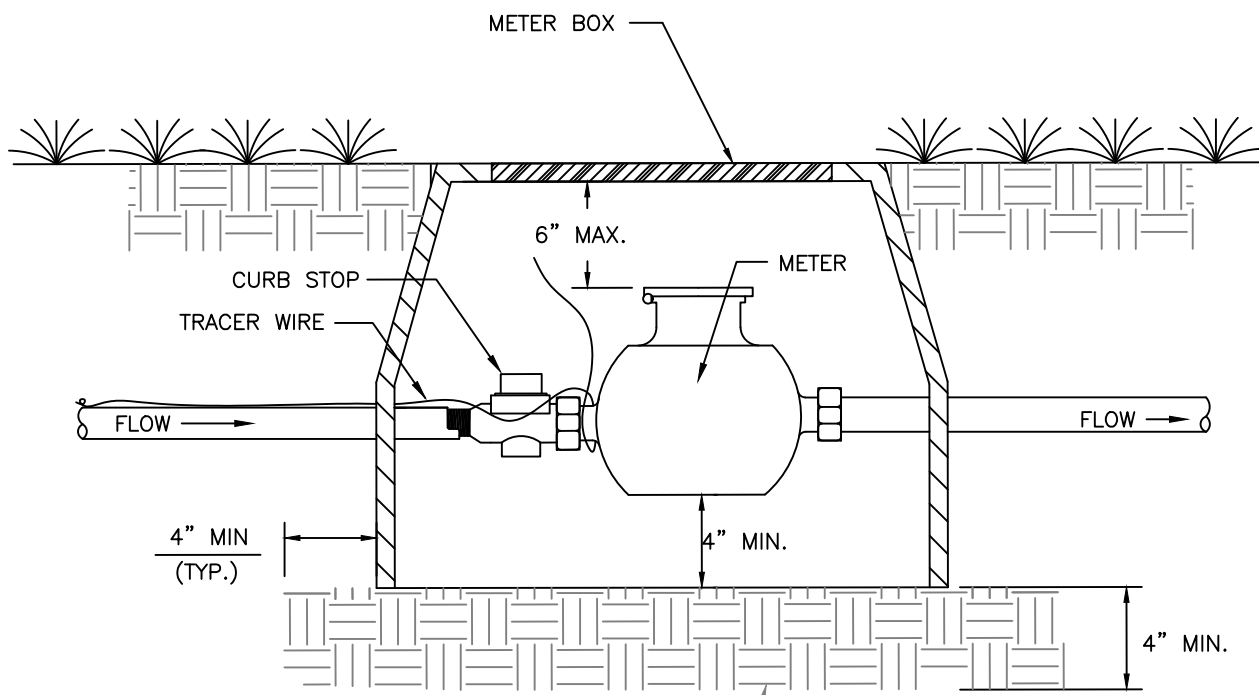
\*CHEMICAL CONTROL

ADHESIVE ADHESIVE	WATER DILUTION	TYPE OF NOZZLE	APPLICATION RATE (GAL/AC)
ANIOIC ASPHALT EMULSION	7:1	SPRAY	1200
LATEX EMULSION	12 1/2:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300

DUST CONTROL ON DISTURBED AREAS Du

GENERAL DEVELOPMENT NOTES:

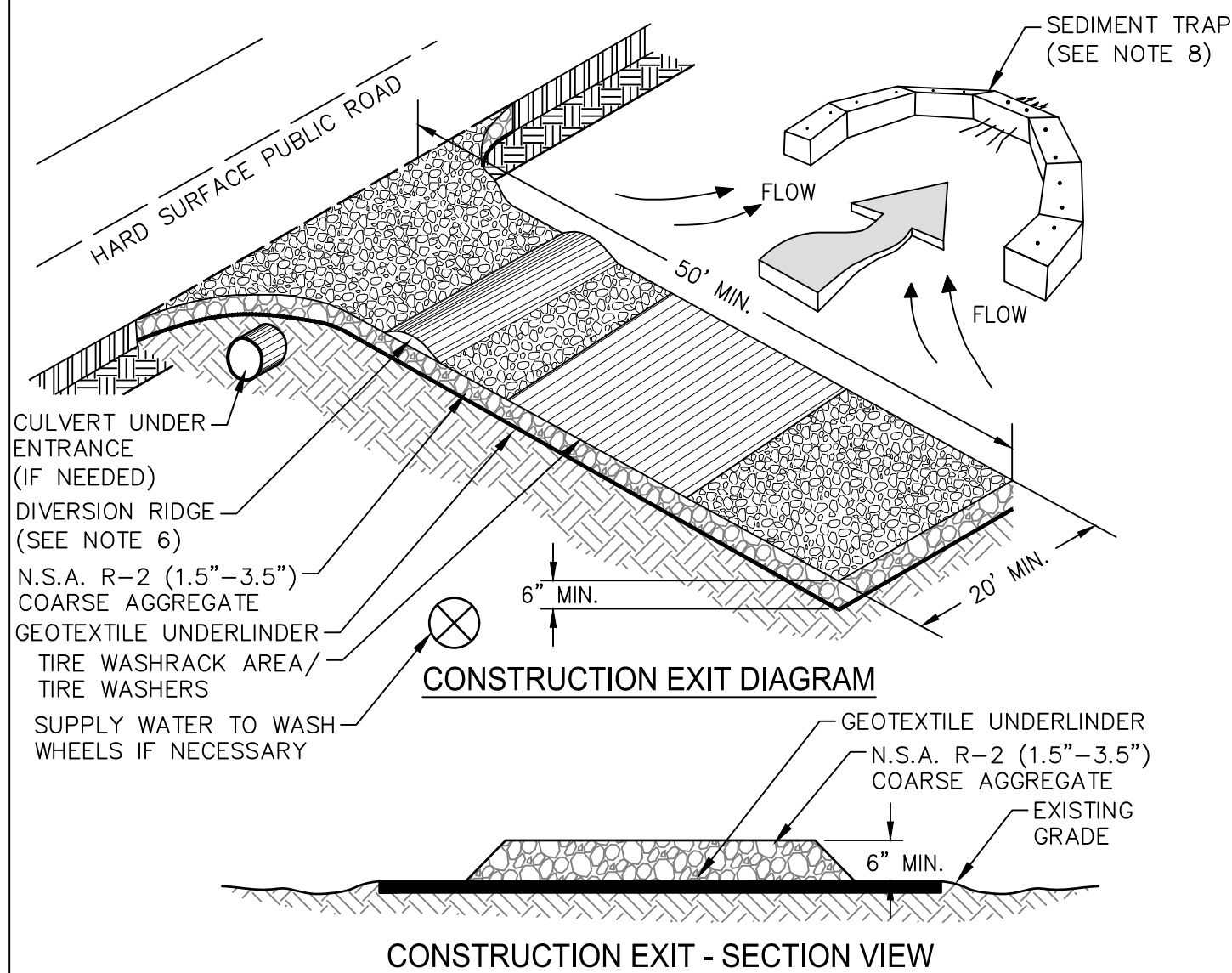
- PIN: 40003 18006  
ADDRESS: 6 LOVELL AVE  
TYBEE, GA 31328
- TOTAL LAND ACREAGE = 0.29(±) AC  
TOTAL DISTURBED ACREAGE = 0.14(±) AC
- PROPERTY IS LOCATED IN ZONE VE-12, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP # 13051C0214G, DATED 8/15/2018
- THE SITE IS SERVED BY THE TYBEE CITY WATER AND SANITARY SEWER SYSTEM??



- NOTE:
- APPLICABLE TO EXISTING RESIDENTIAL SERVICES ONLY.
  - APPLICABLE TO 5/8", 3/4", AND 1" ONLY.
  - DETAIL FOR USE ONLY WHEN REPLACING AN EXISTING RESIDENTIAL WATER METER WITHOUT A BACKFLOW PREVENTER (REPLACE IN-KIND ONLY).
  - COPPER COATED STEEL TRACER WIRE.

RESIDENTIAL WATER METER W/O BACKFLOW  
PREVENTER WITHIN GRASS OR LANDSCAPE AREAS

CRUSHED STONE CONSTRUCTION EXIT



NOTES:

- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
- REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
- AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
- GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
- PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
- A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
- INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
- WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
- MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



24 HOUR CONTACT  
SIMON RICHARDSON  
404-907-6670

UTILITIES PROTECTION CENTER

Dig Safely.  
CALL 811

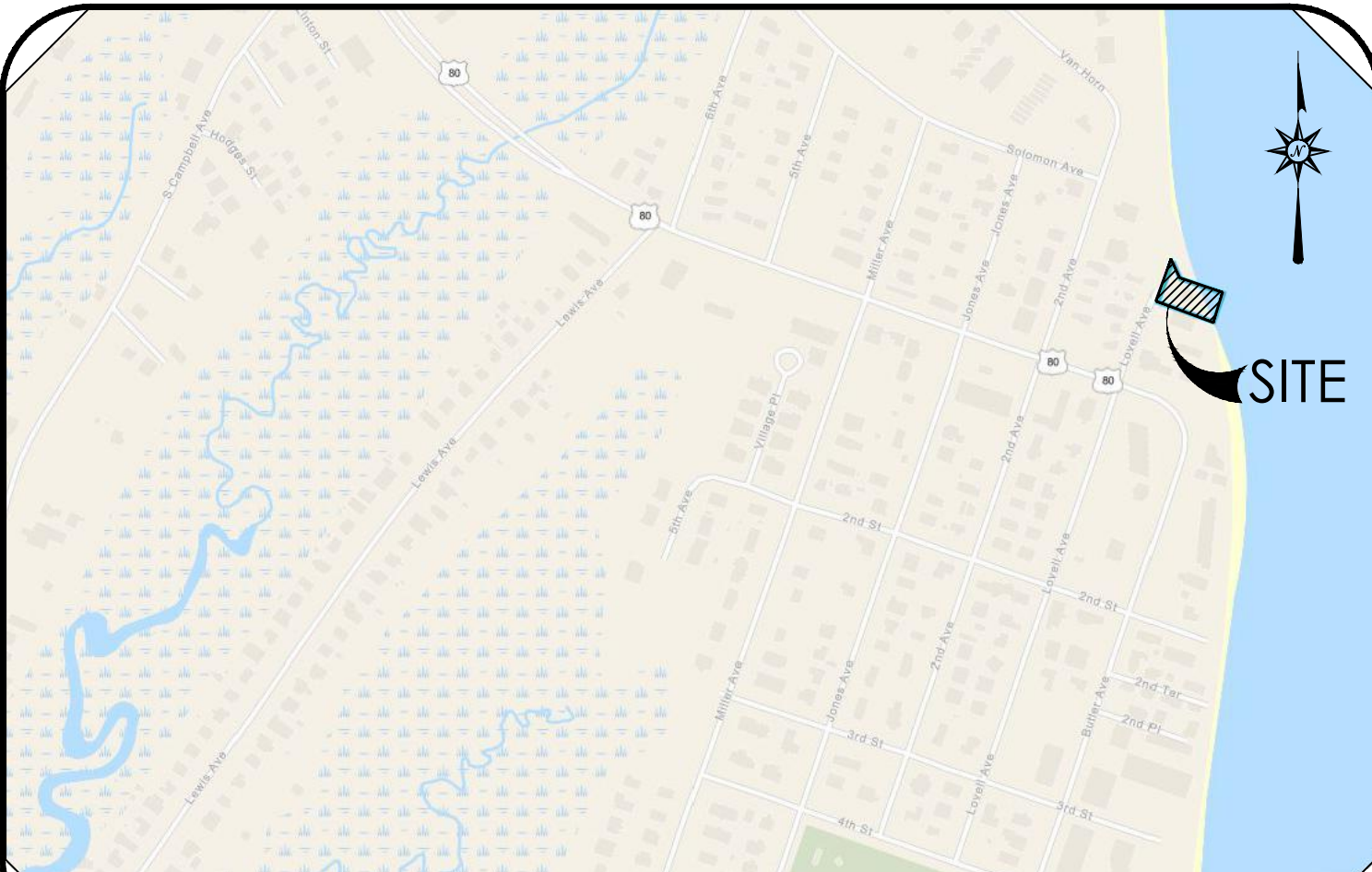
CONTRACTOR IS REQUIRED TO CALL  
AT LEAST 3 DAYS PRIOR TO  
START OF CONSTRUCTION

6 Lovell Ave  
Specific Development Plan

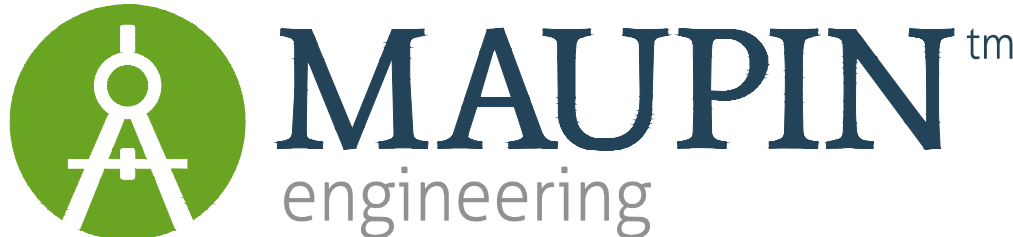
MEI Proj #506-21-01 Plan Date: 12/16/2021

PREPARED FOR:

SIMON RICHARDSON  
1335 SQUIRREL RUN  
ALPHARETTA, GEORGIA  
404-907-6670  
simonjrichardson@yahoo.com



VICINITY MAP



114 WEST 42<sup>ND</sup> STREET OFFICE PHONE (912) 235 - 2915  
SAVANNAH, GA 31401 GENERAL@MAUPINENGINEERING.COM

SHEET INDEX

C.0	COVER - NOTES
C.1	STAMPED SURVEY
C.2	DEMOLITION PLAN
C.3	DEVELOPMENT PLAN
C.4	GRADING & EROSION CONTROL

REVISIONS		
NO.	DATE	DESCRIPTION

THIS SET IS RELEASED FOR PERMITTING MM/DD/YY  
**NOT FOR PRICING**

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ZONE AE ZONE VE  
BFE 10.0 BFE 12.0

APPROXIMATE LOCATION  
OF FLOOD HAZARD LINE

EXISTING CHAINLINK FENCE  
TO BE REMOVED

FIRST (LOVELL) AVENUE

TREE TO BE REMOVED  
WATER METER AND SERVICE  
TO BE REMOVED

ADJACENT  
STRUCTURE

EX. WALL

ADJACENT  
STRUCTURE

NOW OR FORMERLY  
WILLIAM & ELEANOR RANDOLPH  
8 LOVELL AVE  
4-0003-18-005  
D.B. 794 PG 227

BENCHMARK  
PK NAIL IN ASPHALT  
NAVD88 DATUM  
EL: 6.97'  
N: 734640.19  
E: 1066862.72

NOW OR FORMERLY  
NANCY OREILLY  
LOVELL AVENUE  
4-0003-18-008  
D.B. 1641 PG 603

NOW OR FORMERLY  
CITY OF TYBEE  
0 BUTLER AVENUE  
4-0003-19-001

SINGLE STORY  
FRAME  
RESIDENCE  
FFE: 10.3'

EXISTING STRUCTURE 1038 SQ. FT. IN  
PLAN. SLAB TO REMAIN

APPROXIMATELY 205 SQ. FT. PORCH OF  
EXISTING STRUCTURE TO BE REMOVED

GDNR SPA JURISDICTIONAL AREA  
(TO BE PRESERVED IN ITS NATURAL STATE)

ATLANTIC OCEAN  
(BUTLER AVENUE)

Ds2  
Ds3

#### SEEDING RATES FOR TEMPORARY & PERMANENT COVER

MONTH	TEMPORARY COVER	RATES PER ACRE	MONTH	PERMANENT COVER	RATES PER ACRE
MARCH-JUNE	COMMON BERMUDA (HULLED) WEeping LOVEGRASS	10 lbs. 4 lbs.	MARCH-JUNE	COMMON BERMUDA (HULLED) WEeping LOVEGRASS	10 lbs. 4 lbs.
APRIL-AUGUST	BROWN TOP MILLET SUJANGRASS PEARL MILLET	40 lbs. 60 lbs. 50 lbs.	JULY-AUGUST	COMMON BERMUDA (HULLED) & BROWN TOP MILLET COMMON BERMUDA (HULLED) & WEeping LOVEGRASS COMMON BERMUDA (HULLED) & PENSACOLA BAHIA & BROWN TOP MILLET PENSACOLA BAHIA & BROWN TOP MILLET PENSACOLA BAHIA & WEeping LOVEGRASS & BROWNTOP MILLET	10 lbs. 10 lbs. 6 lbs. 2 lbs. 6 lbs. 30 lbs. 10 lbs. 60 lbs. 10 lbs. 30 lbs. 2 lbs. 10 lbs.
SEPT.-FEBRUARY	RYE (MOST WINTER HARDY) RYEGRASS BARLEY WHEAT	3 BU 40 lbs. 3 BU 3 BU		WEeping LOVEGRASS & BROWN TOP MILLET	4 lbs. 10 lbs.

#### NOTES

- CENTPEDE SOD CAN BE USED AS PERMANENT COVER ANYTIME EXCEPT JUNE THROUGH OCTOBER.
- LISTED IN ORDER OF PREFERENCE.
- ALL PERMANENT GRASS PLANTINGS SHALL BE MULCHED.

#### Ds2-Ds4 NOTES:

- A TEMPORARY GRASSING OF ANNUAL RYEGRASS SHALL BE APPLIED AT A RATE OF 40 LBS PER ACRE TO DISTURBED AREAS WITHIN 14 DAYS OF DISTURBANCE. THE PROPOSED ANNUAL RYEGRASS SHALL BE APPLIED DURING THE MONTHS OF SEPTEMBER THRU DECEMBER.
- A 6-12-12 FERTILIZER SHALL BE USED ON THE DISTURBED AREA OF Ds2 AND SHALL BE APPLIED AT A RATE OF 1500 LBS. PER AC.
- AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE.

#### Ds3

- A PERMANENT GRASSING OF UNHULLED COMMON BERMUDA SHALL BE APPLIED AT A RATE OF 10 LBS. PER ACRE DURING THE MONTHS OF SEPTEMBER THRU FEBRUARY. IF A HYDRAULIC SEEDER IS TO BE USED, REFER TO THE EROSION AND SEDIMENT CONTROL MANUAL FOR FURTHER DIRECTION ON THE METHOD OF APPLICATION.
- A 6-12-12 FERTILIZER SHALL BE USED ON THE DISTURBED AREA OF Ds3 AND SHALL BE APPLIED AT RATE OF 1500 LBS. PER AC.
- DRIED STRAW OR DRY HAY SHALL BE USED FOR MULCHING AND APPLIED AT A RATE OF 2 TONS PER ACRE. MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING. THE MULCH MAY BE SPREAD BY BLOWER-TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT OR BY HAND. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL SURFACE.
- AGRICULTURAL LIME IS REQUIRED AT A RATE OF 1 - 2 TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE.

#### Ds4

- SOIL SURFACE IS BROUGHT TO FINAL GRADE AND CLEAR OF ANY TRASH, DEBRIS, AND CLOUDS LARGER THAN 1".
- SOD SHOULD BE APPLIED TO SOIL SURFACE ONLY (NOT TO FROZEN OR GRAVEL TYPE SOILS). CUT AND INSTALLED WITHIN 36 HOURS OF DIGGING.
- LIME & FERTILIZER SHOULD BE APPLIED BASED ON SOIL TESTS OR AT A RATE OF 1 - 2 TONS PER ACRE.
- SOD SHOULD BE ANCHORED WITH PINS ON SLOPES STEEPER THAN 3:1
- IRRIGATION SHOULD BE USED AS A SUPPLEMENT TO RAINFALL FOR A MIN OF 2 - 3 WEEKS
- GRASS HEIGHT SHOULD NOT BE CUT LESS THAN 2" - 3" WHEN MOWING

#### SOD COVER

Ds4	GRASS	TEMPORARY VARIETIES	RESOURCE AREA	GROWING SEASON
	BERMUDA	COMMON TIFWAY TIFGREEN TIFLAWN	M-L, P, C P, C P, C	WARM WEATHER
	CENTPEDE	--	P, C	WARM WEATHER
	ST. AUGUSTINE	COMMON BITTERBLUE RALEIGH	C	WARM WEATHER

#### NOTES:

- STAGER ALL JOINTS
- ANCHOR WITH PINS ON SLOPES STEEPER THAN 3:1
- IRRIGATE SOD IMMEDIATELY AFTER INSTALLATION
- RE-SOD AREAS WHERE AN ADEQUATE STAND IS NOT OBTAINED.
- LIME SHOULD BE APPLIED BE APPLIED BASED ON SOIL TEST OR AT A RATE OF 1-2 TONS/ AC.
- 10-10-10 FERTILIZER SHALL BE APPLIED TO THE SOIL PRIOR TO SOD PLACEMENT AT A RATE OF 1000lbs/AC DURING THE FALL.

#### FERTILIZER REQUIREMENTS FOR SOD

GRASS	PLANTING YEAR	FERTILIZER (N-P-K)	RATE lbs/ac	NITROGEN lbs/ac
COOL SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	1000	-
	MAINTENANCE	10-10-10	400	30
WARM SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	800	50-100
	MAINTENANCE	10-10-10	400	30

REVISIONS  
NO. DATE DESCRIPTION

MAUPIN<sup>tm</sup>  
engineering  
114 WEST 42<sup>ND</sup> STREET  
SAVANNAH, GA 31401  
OFFICE PHONE (912) 235-2915  
GENERAL@MAUPINENGINEERING.COM

DEMOLITION PLAN

6 Lovell Ave

LEVEL II E&S  
GEORGIA  
REGISTERED  
ENGINEER  
NO. 23758  
MY A. MAUPIN  
CERT.#21051 EXP: 12/1/2024  
STATUS:

RELEASED  
FOR  
PERMITTING

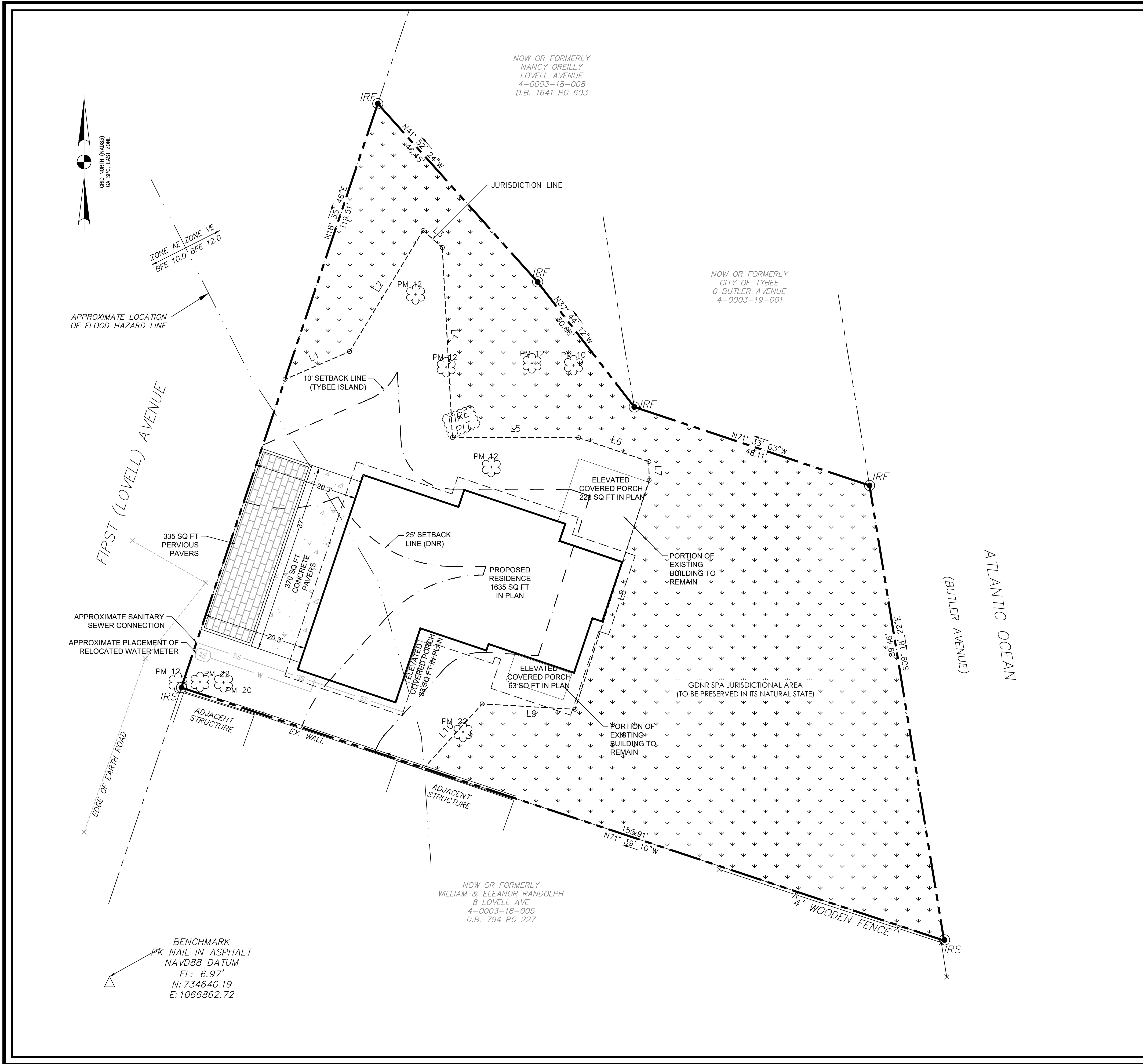
DRWN: BPM 12-16-2021  
CHK'D: JAM DATE

5 0 10  
SCALE: 1" = 10'

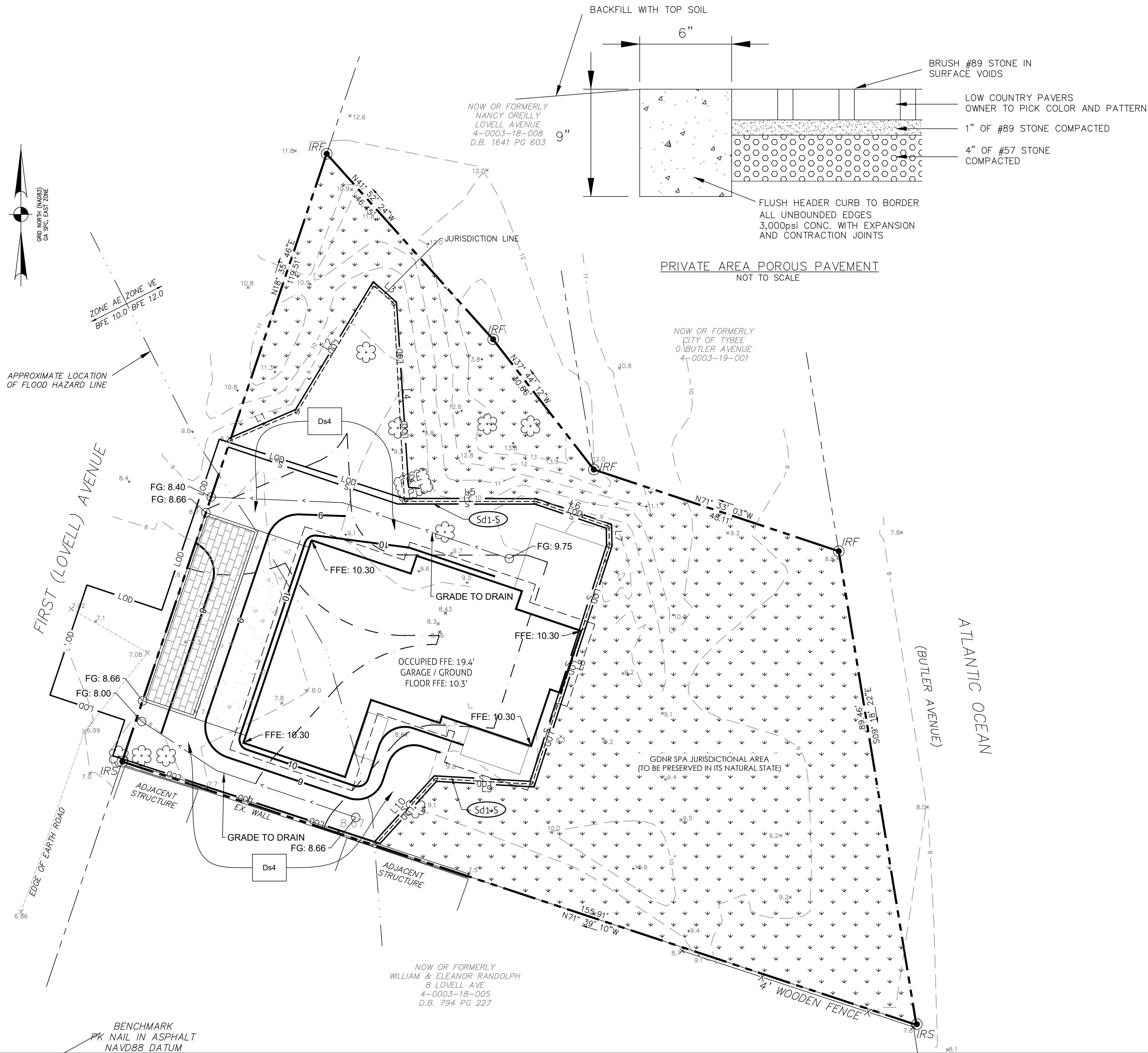
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506-21-01



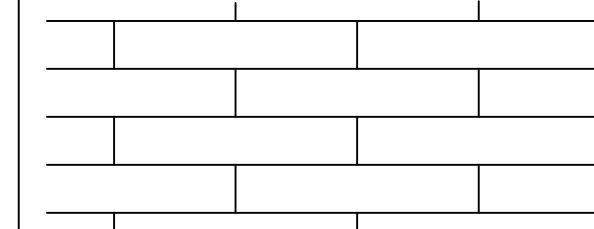




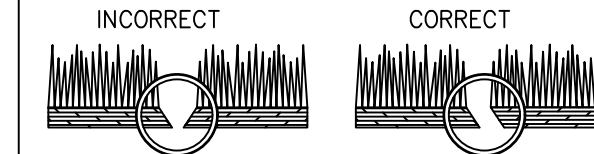


## SOD MAINTENANCE AND INSTALLATION

### SOD LAYOUT AND PREPARATION



LAY SOD IN A STAGGERED PATTERN. BUTT THE STRIPS TIGHTLY AGAINST EACH OTHER. DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PIECES.

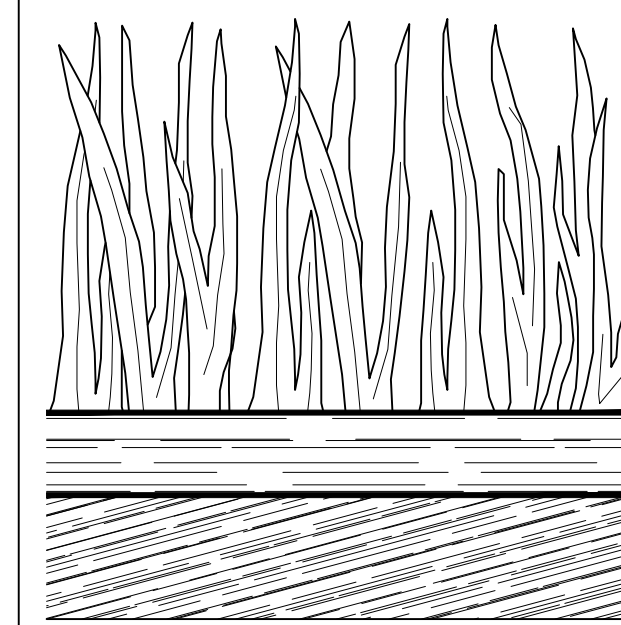


BUTTING: ANGLED ENDS CAUSED BY THE AUTOMATIC SOD CUTTER MUST BE MATCHED CORRECTLY.

### DIRECTIONS FOR INITIAL MAINTENANCE

- Step 1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL
- Step 2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAID.
- Step 3. MOW WHEN THE SOD IS ESTABLISHED -- IN 2-3 WEEKS. SET THE MOWER HIGH (2"-3").

### APPEARANCE OF GOOD SOD

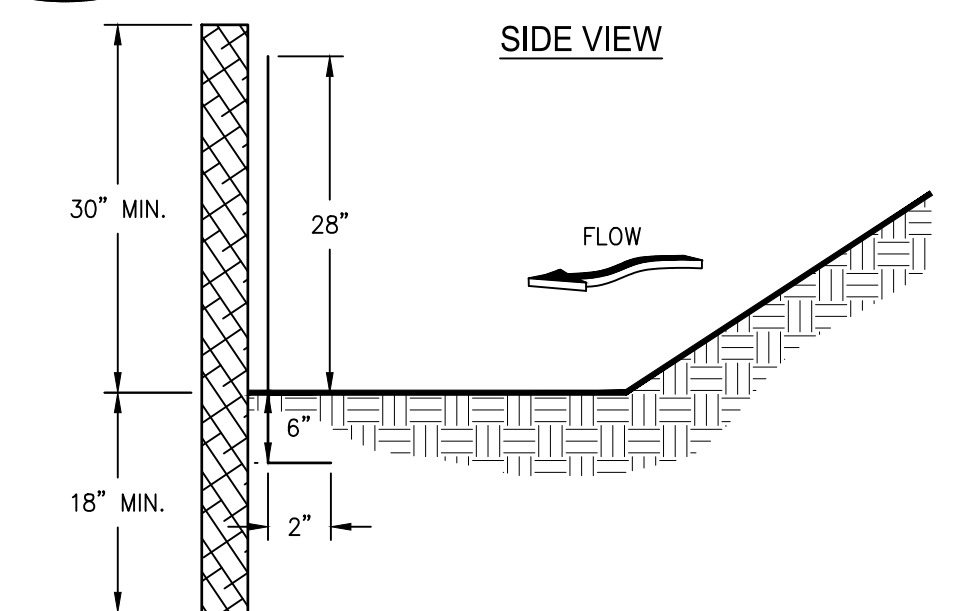


SHOOTS OR GRASS BLADES: GRASS SHOULD BE GREEN AND HEALTHY, MOWED AT A 2"-3" CUTTING HEIGHT.

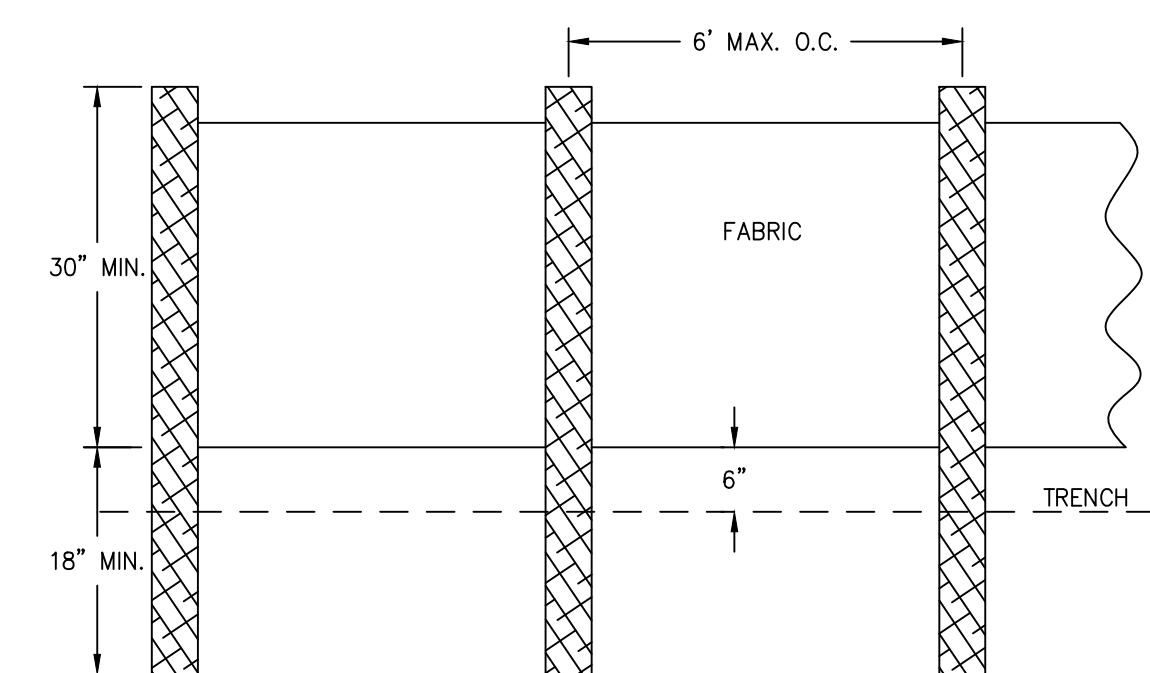
THATCH: GRASS CLIPPINGS AND DEAD LEAVES (UP TO 1/2" THICK).

ROOT ZONE: SOIL AND ROOTS. SHOULD BE 1/2"-3/4" THICK WITH DENSE ROOT MAT FOR STRENGTH.

### Sd1-NS SILT FENCE - TYPE NON-SENSITIVE



### FRONT VIEW



### NOTES:

- USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
- HEIGHT (\*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.



GENERAL NOTES

THESE DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER AND ARE LIMITED IN SCOPE

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN SPECIFICALLY NOT CALLED FOR IN THESE DRAWINGS AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET ANY OF THE REQUIRED GOVERNMENT AGENCIES HAVING ANY JURISDICTION OVER ANY PORTION OF THIS PROJECT

THE WORK OF ANY DESIGN PROFESSIONALS AND OR SUB CONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THIS PROJECT SHALL FOLLOW GOOD CONSTRUCTION PRACTICES

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

THESE DRAWINGS REPRESENT FIELD MEASUREMENTS AND DO NOT FULLY REFLECT EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS, NOTIFY DESIGN TEAM OF ANY DISCREPANCIES.

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGH PLUMBING, WIRING, CARPENTRY, ETC. INCLUDING MODIFICATION OF EXISTING CONDITIONS TO COMPLETE THE ENTIRE SCOPE OF WORK.

CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURERS WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL QUALITY MANNER.

DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS. THE CONTRACTOR IS TO REVIEW WITH THE DESIGN TEAM OF NON TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURERS' PRODUCTS ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY. PRODUCTS THAT ARE APPROVED AS EQUAL BY THE DESIGN TEAM ARE ACCEPTABLE.

CONTRACTOR SHALL SUBMIT TO OWNER AND DESIGN TEAM SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION AND OR INSTALLATION.

CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.

NO SMOKING IS TO BE ALLOWED ON THE CONSTRUCTION SITE AT ANY TIME.

CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR INFERRED.

CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK.

INTERIOR FINISHES IN EXIT ACCESS AREAS TO BE CLASS A, CLASS B IN OTHERS. CONTRACTOR TO VERIFY ALL EXITS MEET CURRENT BUILDING AND SAFETY CODES.

INSULATION SHALL HAVE A SMOKE DEVELOPED RATING OF 450 MAX. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 75 MAX., AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 MAX.

CONTRACTOR RESPONSIBLE AND SHALL MAINTAIN EXISTING AND NEW STRUCTURES WATER TIGHT INTEGRITY TROUGH USE OF TARPS AND OR PERMANENT MODIFICATIONS DURING CONSTRUCTION.

CONTRACTOR TO PARK IN DESIGNATED AREAS ONLY.

DUMPSTER LOCATION TO BE DETERMINED BY PROJECT TEAM.

ALL CONSTRUCTION ACTIVITIES OR MOVEMENT TO OCCUR ON OR LIMITED TO OWNERS' PROPERTY.

THESE DRAWINGS CAN NOT STAND ALONE AS CONSTRUCTION DOCUMENTS

DOOR OPENING ARE TO BE SET 6" AWAY FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED.

SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE. CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION AND TIE DOWN REQUIREMENTS.

SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS. CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE DESIGN TEAM'S BASIC LAYOUT AND SELECTIONS SUGGESTED.

SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE ADDITIONAL SITE PLANNING DRAINAGE AND OTHER RELATED SITE WORK REQUIREMENTS.

SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNERS REPRESENTATIVE.

BY APPLYING FOR A BUILDING PERMIT AND OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE DESIGN TEAM TO THE OWNER OF THE PROJECT FOR ALL CLAIMS, LOSSES, DAMAGES OR ANY NATURE, WHATSOEVER OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE DESIGN TEAM'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR MUST REQUEST IN WRITING THE CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE A COMPLETE AND ACCURATE REPRESENTATION OF SUCH CONDITIONS.

WHEN THE DESIGN TEAMS DRAWINGS ARE IN CONFLICT WITH THE ENGINEERING AND CONSULTANTS DRAWINGS THE GENERAL CONTRACTOR MUST REQUEST IN WRITING CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING WITH ANY CONSTRUCTION.

I.R.C. - 2018  
BUILDING CODES ICC 600-2014

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS OF THE BUILDING AND SYSTEMS, THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE, FEDERAL AND OTHER APPLICABLE CODES, (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY DESIGN TEAM OF NON COMPLAINT DESIGN, OR QUESTIONS CONCERNING COMPLIANCE, PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

SOIL CONDITIONS

REFER TO GEO-TECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

PROJECT AREA

FIRST FLOOR LIVING AREA: 1,674.88 Square feet  
SECOND FLOOR LIVING AREA: 1,540.91 Square feet

COVERED PORCH – MAIN AREA: 179.66 Square feet  
COVERED PORCH – BEACH AREA: 64.16 Square feet  
COVERED PORCH – GUEST AREA: 41.66 Square feet  
COVERED PORCH – GUEST UPPER AREA: 41.66 Square feet

GARAGE AREA: 1,835.52 Square feet

TOTAL COOLED LIVING AREA: 3,215.79 Square feet

TOTAL FRAMED AREA: 5,378.45 Square feet

( FOR REFERENCE ONLY )  
AREAS SUBJECT TO CHANGE WITHOUT NOTICE  
ALL CALCULATIONS ARE THE EXTERIOR OF FRAMING

SITE AREA:

SITE AREA: (PER SURVEY) 0.277 ACRES

12,028.41 square feet

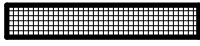
BUILDING FOOT PRINT: 1,959.50 square feet

LOT COVERAGE: 16%

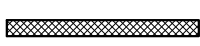
EXISTING STRUCTURE AREA: 1,039.04 Square feet

DRAWING SYMBOLS

DESIGNATES – C.M.U. WALL



DESIGNATES – BRICK



DESIGNATES – 2x4 @ 16" O.C. STUD WALL



2 x 4

DESIGNATES – 2x6 @ 16" O.C. STUD WALL



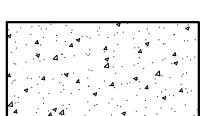
2 x 6

DESIGNATES – 2x8 @ 16" O.C. STUD WALL



2 x 8

DESIGNATES – UNFINISHED CONCRETE



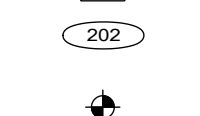
DETAIL DESIGNATION – WITH VIEW DIRECTION



WINDOW DESIGNATION



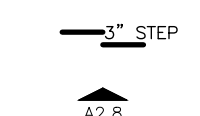
DOOR DESIGNATION



POINT ELEVATION



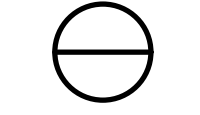
ELEVATION CHANGE



INTERIOR DETAIL VIEW DIRECTION



DETAIL DESIGNATION



ABBREVIATIONS

CONCRETE MASONRY UNIT	C.M.U.
¢	¢
CASED OPENING	CO
DOWN	DN.
UP	UP
DESIGN PRESSURE	D.P.
EQUAL	EQ.
WELDED WIRE MESH	W.W.M.
ON CENTER	O.C.

FINISH SYMBOLS

CULTURED MARBLE	(CM)
GRANITE	(G)
MARBLE	(M)
LAMINATED TOP	(L)
TILE	(T)
GLASS	(GL)
SOLID SURFACE	(SS)
CAST IRON	(C.I)
FIBERGLASS	(FG)
STONE	(S)
DRYWALL	(DW)

VERIFY ALL FINISH TYPES WITH INTERIOR SELECTION SHEETS

( FOR REFERENCE ONLY )

SEE THE MATERIAL SELECTION SHEET AND ALL INTERIOR DESIGN DRAWINGS FOR OVERALL FINISH NOTES UNLESS OTHERWISE NOTED

ALL SQUARE AND LINEAR FOOTAGE'S ARE FOR PRICING PURPOSES ONLY AND ARE SUBJECT TO CHANGE. VERIFY ALL CALCULATIONS WITH SPECIFICATIONS PRIOR TO USE.

EXISTING CONDITIONS

DESIGN DOCUMENTS ARE BASED ON VISUAL MEASUREMENTS TAKEN AND MAY NOT ACCURATELY SHOW THE CORRECT AND OR EXACT CONDITIONS ESPECIALLY NON VISIBLE CONDITIONS. VERIFY ALL CRITICAL DIMENSIONS WALL THICKNESS CEILING HEIGHTS PRIOR TO ANY ORDERING OF SYSTEMS WINDOWS AND DOORS

NOTATIONS ON THESE DESIGN DOCUMENTS MAY NOT FULLY REFLECT ALL THE WORK NECESSARY TO COMPLETE THE INTENT OF WHAT IS DRAWN. THEREFORE THE GENERAL CONTRACTOR SHALL SITE VERIFY ALONG WITH THE SUB CONTRACTORS DURING ALL PRICING, PRE ARRANGE INSPECTIONS OF THE PROPERTY WITH THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL MAKE TO THE BEST OF THEIR ABILITY VISUAL NON-DESTRUCTIVE INSPECTIONS OF THE AREAS EFFECTED BY THE WORK IN ORDER TO GIVE A COMPLETE QUOTE AS POSSIBLE.

EXISTING STRUCTURE TO BE RAISED AND ALIGNED WITH NEW FINISHED FIRST FLOOR/RE USE AND REPAIR AS REQUIRED



FRONT EXTERIOR ELEVATION - REDUCED

SCALE: N.T.S  
C - 100 - 2

RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION  
6 LOVELL AVENUE  
TYBEE ISLAND - GEORGIA  
CITY OF TYBEE  
CHATHAM COUNTY

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THE BUILDER AND OWNER ARE RESPONSIBLE FOR RETAINING A STRUCTURAL ENGINEER AND THE COORDINATION OF THE DESIGN DRAWINGS AND THE STRUCTURAL DESIGN

DESIGN TEAM

OWNER

RICHARDSON

ENVIRONMENTAL

ENVIRONMENTAL SCIENCE & TECHNOLOGIES INC  
POST OFFICE BOX 30548 – SAVANNAH – GEORGIA – 31410  
912–232–7130  
tmerrill@est–savannah.com

STRUCTURAL ENGINEER

S. MARK BOYLES P.E.  
PO BOX 22324 – SAVANNAH – GEORGIA –31403  
912–232–7130  
smboyles@bellsouth.net

CIVIL ENGINEER

MAUPIN ENGINEERING  
114 WEST 42nd STREET – SAVANNAH – GEORGIA –31401  
912.704.1955  
jay@maupinengineering.com

SURVEY

BREWER LAND SURVEYING – PO BOX 441 – POOLER – GEORGIA –31322  
912–856–2205  
craig@brewersurvey.com

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2014  
I.R.C. - 2018

FLOOD ZONE PER SURVEY  
V.E. 12  
12 - 13  
FEEDBACK

DRAWING INDEX

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| 3  | L – 101 | SITE PLAN                     |
| 4  | L – 102 | LANDSCAPE PLAN                |
| 5  | A – 000 | EXISTING CONDITIONS           |
| 6  | A – 100 | FIRST FLOOR PLAN              |
| 7  | A – 101 | SECOND FLOOR PLAN             |
| 8  | A – 103 | GARAGE FLOOR PLAN             |
| 9  | A – 104 | WINDOW AND DOOR NOTES         |
| 10 | A – 200 | EXTERIOR ELEVATIONS           |
| 11 | A – 201 | EXTERIOR ELEVATIONS           |
| 12 | A – 202 | EXTERIOR ELEVATIONS           |
| 13 | A – 203 | EXTERIOR ELEVATIONS           |
| 14 | A – 300 | BUILDING SECTIONS – ROOF PLAN |
| 15 | A – 301 | BUILDING SECTIONS             |
| 16 | A – 400 | WALL DETAILS                  |
| 17 | A – 401 | WALL DETAILS                  |
| 18 | S – 100 | FOUNDATION PLAN               |
| 19 | S – 101 | STRUCTURAL NOTES              |
| 20 | E – 100 | ELECTRICAL PLANS              |
| 21 | E – 101 | ELECTRICAL PLANS              |
| 22 | E – 102 | ELECTRICAL PLANS              |



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2014  
I.R.C. - 2018

FLOOD ZONE PER SURVEY  
V.E. 12  
12 - 13  
FEEDBACK

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RICHARDSON

SINGLE FAMILY RESIDENCE – RENOVATION

6 LOVELL AVENUE  
TYBEE ISLAND – GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



COVER 24 x 36

PERMIT

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RICHARDSON  
SINGLE FAMILY RESIDENCE – RENOVATION

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TYBEE ISLAND – GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

21 - 039  
06.02.2022

REV



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NAVD83

## REFERENCES

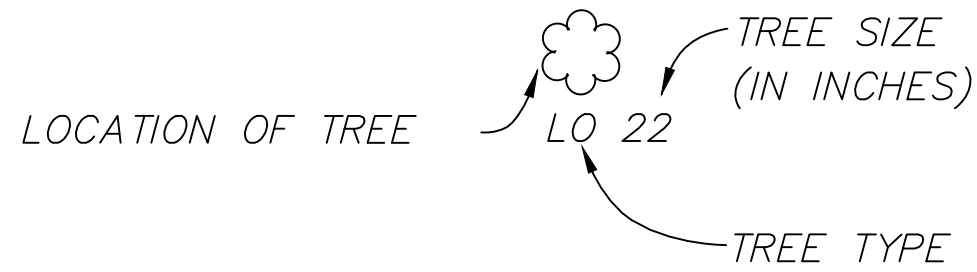
1. S.M.B. 00C PG 14
2. P.B. P PG 208

## LEGEND

- IRS IRON ROD SET
- IRF IRON ROD FOUND
- ⓔ ELECTRIC METER
- Ⓦ WATER METER
- Ⓢ AIR CONDITIONING
- x 8.1 SPOT ELEVATION
- TOP OF BANK
- UGP — UNDERGROUND POWER
- 8 — CONTOUR LINE

## TREE LEGEND

SIZE OF SYMBOL DOES NOT INDICATE  
THE SIZE OF THE DRIP LINE/CANOPY LINE



TREE TYPE ABBREVIATIONS:

PM PALM

DEAD TREES NOT SHOWN

ALL OTHERS SPELLED OUT

MULTIPLE TREE SIZES INDICATES COMMON BASE

"/D" INDICATES DISEASED TREE

## LANDSCAPE NOTES

SCALE: N.T.S.

L - 101 - 2

## EXISTING CONDITIONS

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STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

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DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ICC 600-2014

I.R.C. - 2018

V.E. 12

12 - 13

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ICC 600-2014

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12 - 13

## RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE  
TYBEE ISLAND - GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



LANDSCAPE PLAN

24 x 36

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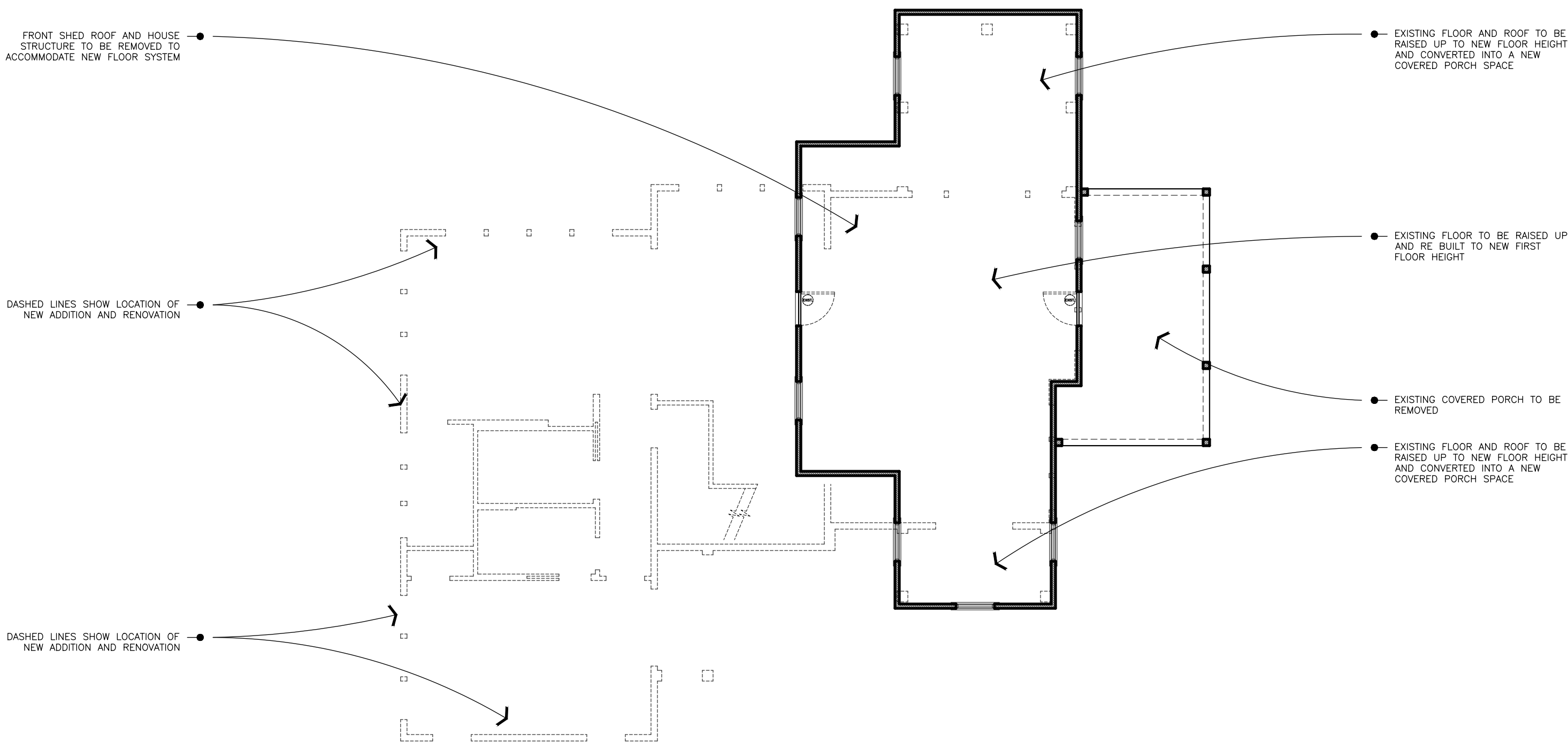
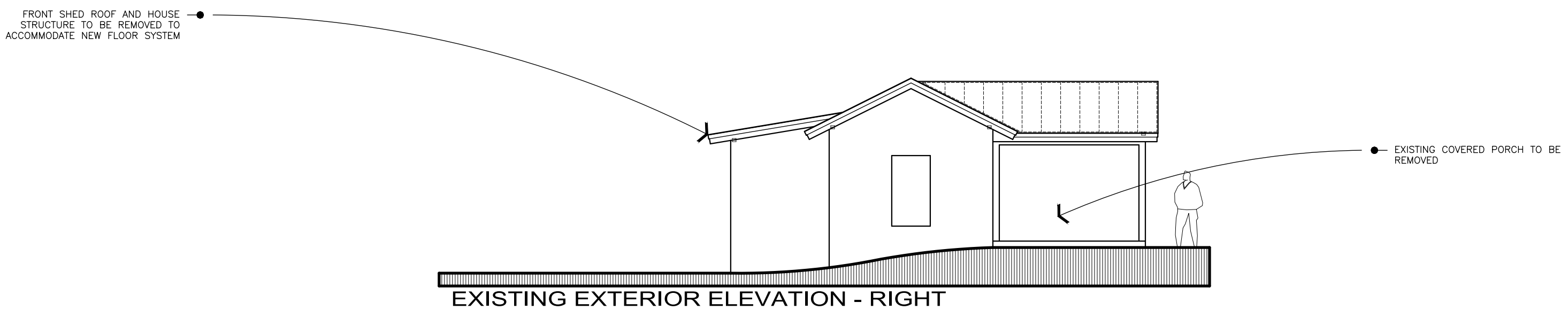
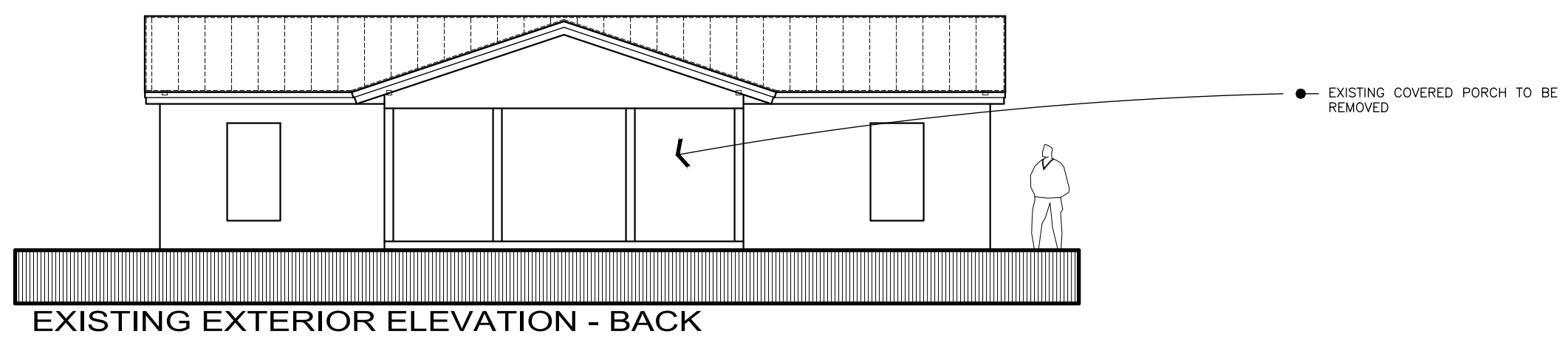
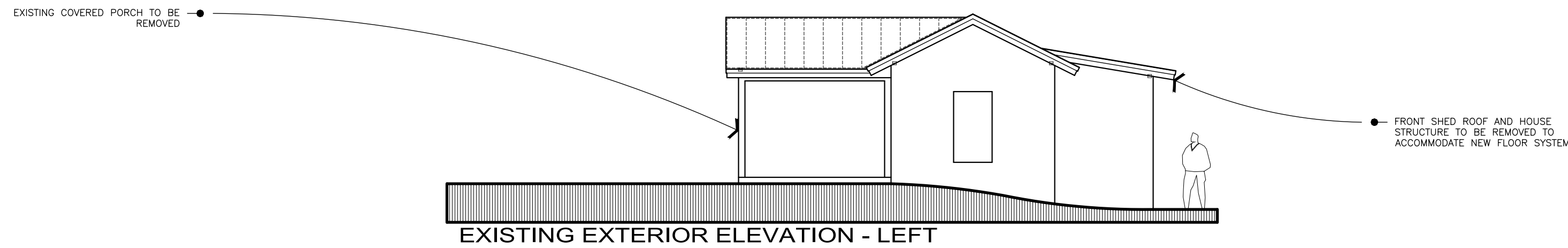
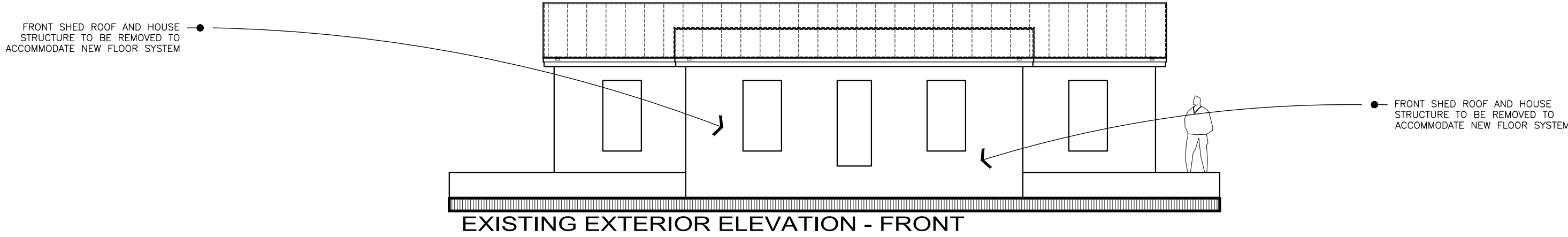
## LANDSCAPE PLAN

SCALE: 1" = 10'-0"

L - 102 - 1

0 5' 10' 20' 40'





**FIRST FLOOR PLAN - EXISTING**  
SCALE: 1/8" = 1'-0"  
**A - 000 - 1**

0' 1' 8' 16' 32'

**DRAWING NOTES**  
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.  
**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION  
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SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES  
VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION  
DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT  
THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT  
GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION  
INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS  
FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING  
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM  
THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION  
**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V33 = 135 MPH  
EXPOSURE CATEGORY "B"  
FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY  
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.  
**ICC 600-2014**  
**I.R.C. - 2018**  
**V.E. 12**  
**12 - 13**

**RICHARDSON**  
SINGLE FAMILY RESIDENCE – RENOVATION  
6 LOVELL AVENUE  
TYBEE ISLAND – GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



EXISTING CONDITIONS 24 x 36

**PERMIT**

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**RICHARDSON**  
SINGLE FAMILY RESIDENCE – RENOVATION  
6 LOVELL AVENUE  
TYBEE ISLAND – GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY  
REV

21 - 039  
06.02.2022

**A - 000**

05 - 22 SINGLE USE ONLY



**WARNING**  
THE OVERALL FINISHED ROOF OVERHANG CANNOT EXCEED 2'-0" PER THE CITY OF TYBEE.  
THE GENERAL CONTRACT IS TO VERIFY THE OVERHANG WITH SURVEYOR PRIOR TO FRAMING INSPECTION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**WARNING**  
THE OVERALL FINISHED ROOF RIDGE HEIGHT CANNOT EXCEED 35'-0" FROM GRADE PER THE CITY OF TYBEE.  
THE GENERAL CONTRACT IS TO VERIFY THE OVERALL HEIGHT WITH SURVEYOR PRIOR TO FRAMING INSPECTION.  
THE GENERAL CONTRACTOR IS TO VERIFY THE BASE MEASURING POINT FROM THE CITY OF TYBEE PRIOR TO FOUNDATION POUR.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

35'-0" - AVERAGE GRADE  
(TOP OF TYPICAL WINDSHIELD FLOOR)

SECOND FLOOR CEILING HEIGHT  
9'-1" A.F.F.  
SECOND FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

MEAN ROOF HEIGHT  
25'-0" ABOVE GRADE

SECOND FLOOR  
FIRST FLOOR CEILING HEIGHT  
10'-1" A.F.F.  
FIRST FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

13'-0" M.S.L.  
12' FREEBOARD  
12'-0" M.S.L.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN  
FIRST FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN  
GARAGE  
7'-8" M.S.L.

V.E. 12  
0'-0" M.S.L.

EXTERIOR ELEVATION - FRONT  
SCALE: 1/4" = 1'-0"  
A - 200 - 1



## EXISTING CONDITIONS

DESIGN DOCUMENTS ARE BASED ON VISUAL MEASUREMENTS TAKEN AND MAY NOT ACCURATELY SHOW THE CORRECT AND OR EXACT CONDITIONS ESPECIALLY NON-VISIBLE CONDITIONS. VERIFY ALL CRITICAL DIMENSIONS, WALL THICKNESS, CEILING HEIGHTS PRIOR TO ANY ORDERING OF SYSTEMS, WINDOWS AND DOORS.

NOTATIONS ON THESE DESIGN DOCUMENTS MAY NOT FULLY REFLECT ALL THE WORK NECESSARY TO COMPLETE THE INTENT OF WHAT IS DRAWN. THEREFORE, THE GENERAL CONTRACTOR SHALL SITE-VERIFY ALONG WITH THE SUB-CONTRACTORS DURING ALL PHASES, PRE-ARRANGE INSPECTIONS OF THE PROPERTY WITH THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL MAKE TO THE BEST OF THEIR ABILITY VISUAL, NON-DESTRUCTIVE INSPECTIONS OF THE AREAS EFFECTED BY THE WORK IN ORDER TO GIVE A COMPLETE QUOTE AS POSSIBLE.

EXISTING STRUCTURE TO BE RAISED AND ALIGNED WITH NEW FINISHED FIRST FLOOR USE AND REPAIR AS REQUIRED.

## DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION.

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"

**ICC 600-2014**  
**I.R.C. - 2018**  
**V.E. 12**  
**12 - 13**

**CEILING HEIGHTS**  
ALL FIRST FLOOR CEILING HEIGHTS ARE:  
AND SECOND FLOOR CEILING HEIGHTS ARE:  
VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED.

**ROOF PITCH**  
ALL PRIMARY ROOF PITCHES ARE:  
UNLESS OTHERWISE SPECIFIED, VERIFY WITH ROOF PLAN.  
ALL CABLE MODIFIED HIPS ARE:  
UNLESS OTHERWISE SPECIFIED, VERIFY WITH ROOF PLAN.

**WINDOW PROTECTION**  
SEE SHEET 5-101 FOR MINIMUM SPECIFICATIONS.

**WINDOW MUTTONS & MULLIONS**  
ALL MUTTONS AND MULLIONS ARE STANDARD TYPE. VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS.

**WINDOW SIZES**  
DO NOT SCALE WINDOW SIZES FROM DRAWINGS. VERIFY SIZE WITH FLOOR PLAN ELEVATION.

**SITE GRADING**  
SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT.

**H.V.A.C. - SERVICE YARD**  
VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION.

**SHUTTERS**  
DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY. SEE A.R.B. COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION.

## EXTERIOR DOORS AND WINDOWS

ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES.

**EXTERIOR LOUVERS**  
ALL LOUVERS BELOW THE F.E.M.A. REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH I.R.C. SECTION 324.2.2.

## ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET A.S.T.M. 31610 CLASS F PER I.R.C. SECTION 905.2.4.1.

**WINDOWS AND DOORS**  
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**PRIMARY ROOF PITCH**  
4 - 12  
SEE NOTES FOR CLARIFICATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**STONE BRICK FINISH IS SHOWN FOR LOCATION ONLY. VERIFY WITH SPECIFICATION FOR TYPE AND FINISH.**

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**VERIFY ALL FINISHED ELEVATION HEIGHTS WITH FLOOR PLANS AND ELEVATION PAGES.**

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**INTERIOR FINISHES**  
SEE THE INTERIOR DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS.



## GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES.

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS, SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

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THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

## STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION.

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"

**ICC 600-2014**  
**I.R.C. - 2018**  
**V.E. 12**  
**12 - 13**

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

## RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE  
TYBEE ISLAND - GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATION - FRONT

24 x 36

## PERMIT

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**RICHARDSON**  
SINGLE FAMILY RESIDENCE - RENOVATION  
6 LOVELL AVENUE  
TYBEE ISLAND - GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

21 - 039  
06.02.2022

REV

A - 200

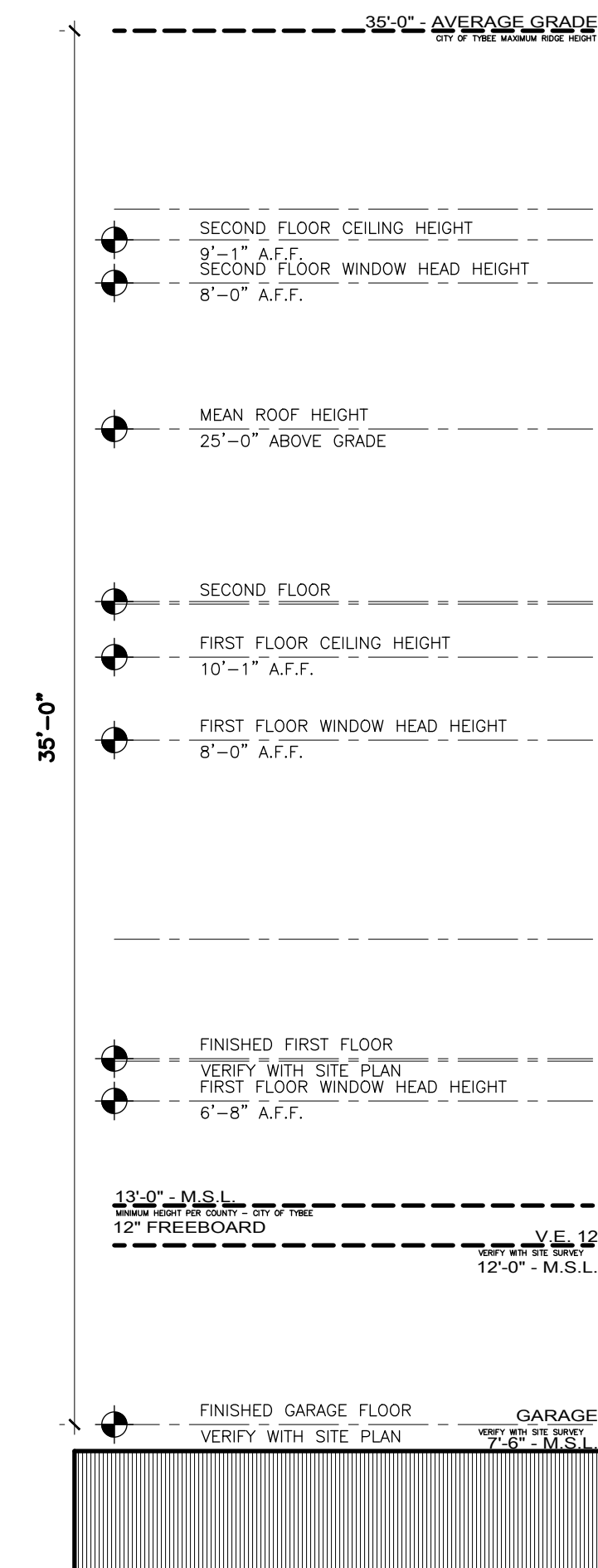
10 - 22 SINGLE USE ONLY

0 1' 4' 8' 16'



**WARNING**  
THE OVERALL FINISHED ROOF OVERHANG CANNOT EXCEED 2'-0" PER THE CITY OF TYBEE.  
THE GENERAL CONTRACT IS TO VERIFY THE OVERHANG WITH SURVEYOR PRIOR TO FRAMING INSPECTION.  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**WARNING**  
THE OVERALL FINISHED ROOF RIDGE HEIGHT CANNOT EXCEED 35'-0" FROM GRADE PER THE CITY OF TYBEE.  
THE GENERAL CONTRACT IS TO VERIFY THE OVERALL HEIGHT WITH SURVEYOR PRIOR TO FRAMING INSPECTION.  
THE GENERAL CONTRACTOR IS TO VERIFY THE BASE MEASURING POINT FROM THE CITY OF TYBEE PRIOR TO FOUNDATION POUR.  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



V.E. 12  
0'-0" M.S.L.

EXTERIOR ELEVATION - LEFT  
SCALE: 1/4" = 1'-0"  
A - 201 - 1



## EXISTING CONDITIONS

DESIGN DOCUMENTS ARE BASED ON VISUAL MEASUREMENTS TAKEN AND MAY NOT ACCURATELY SHOW THE CORRECT AND OR EXACT CONDITIONS ESPECIALLY NON-VISIBLE CONDITIONS. VERIFY ALL CRITICAL DIMENSIONS, WALL THICKNESS, CEILING HEIGHTS PRIOR TO ANY ORDERING OF SYSTEMS, WINDOWS AND DOORS.

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EXISTING STRUCTURE TO BE RAISED AND ALIGNED WITH NEW FINISHED FIRST FLOOR USE AND REPAIR AS REQUIRED.

## DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION.

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2014

I.R.C. - 2018

V.E. 12

12 - 13

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

### CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

10'-1"

AND SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED.

### ROOF PITCH

ALL PRIMARY ROOF PITCHES ARE:

4 - 12

UNLESS OTHERWISE SPECIFIED, VERIFY WITH ROOF PLAN.

ALL GABLE MODIFIED HIPS ARE:

4 - 12

UNLESS OTHERWISE SPECIFIED, VERIFY WITH ROOF PLAN.

### WINDOW PROTECTION

SEE SHEET 5-101 FOR MINIMUM SPECIFICATIONS.

### WINDOW MUTTONS & MULLIONS

ALL MUTTONS AND MULLIONS ARE STANDARD TYPE. VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS.

### WINDOW SIZES

DO NOT SCALE WINDOW SIZES FROM DRAWINGS. VERIFY SIZE WITH FLOOR PLAN ELEVATION.

### SITE GRADING

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT.

### H.V.A.C. - SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION.

### SHUTTERS

DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY. SEE A.R.B. COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION.

### EXTERIOR DOORS AND WINDOWS

ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES.

### EXTERIOR LOUVERS

ALL LOUVERS BELOW THE F.E.M.A. REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH I.R.C. SECTION 324.2.2.

### ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET A.S.T.M. 31610 CLASS F PER I.R.C. SECTION 905.2.4.1.

**WINDOWS AND DOORS**  
VERIFY ALL SPECIFICATIONS  
AND SIZES PRIOR TO  
ORDERING AND INSTALLATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**PRIMARY ROOF PITCH**  
4 - 12  
SEE NOTES FOR CLARIFICATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**STONE BRICK FINISH IS SHOWN**  
FOR LOCATION ONLY. VERIFY  
WITH SPECIFICATION  
FOR TYPE AND FINISH.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**VERIFY ALL FINISHED**  
ELEVATION HEIGHTS  
WITH FLOOR PLANS  
AND ELEVATION PAGES.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

### INTERIOR FINISHES

SEE THE INTERIOR DESIGN PACKAGE  
AND MATERIAL SELECTIONS FOR ALL INTERIOR  
TRIM AND DETAILS.



## GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES.

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### STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION.

### DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED

ICC 600-2014

I.R.C. - 2018

V.E. 12

12 - 13

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

## RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE  
TYBEE ISLAND - GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATION - LEFT

24 x 36

PERMIT

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RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE  
TYBEE ISLAND - GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

21 - 039

06.02.2022

REV

A - 201

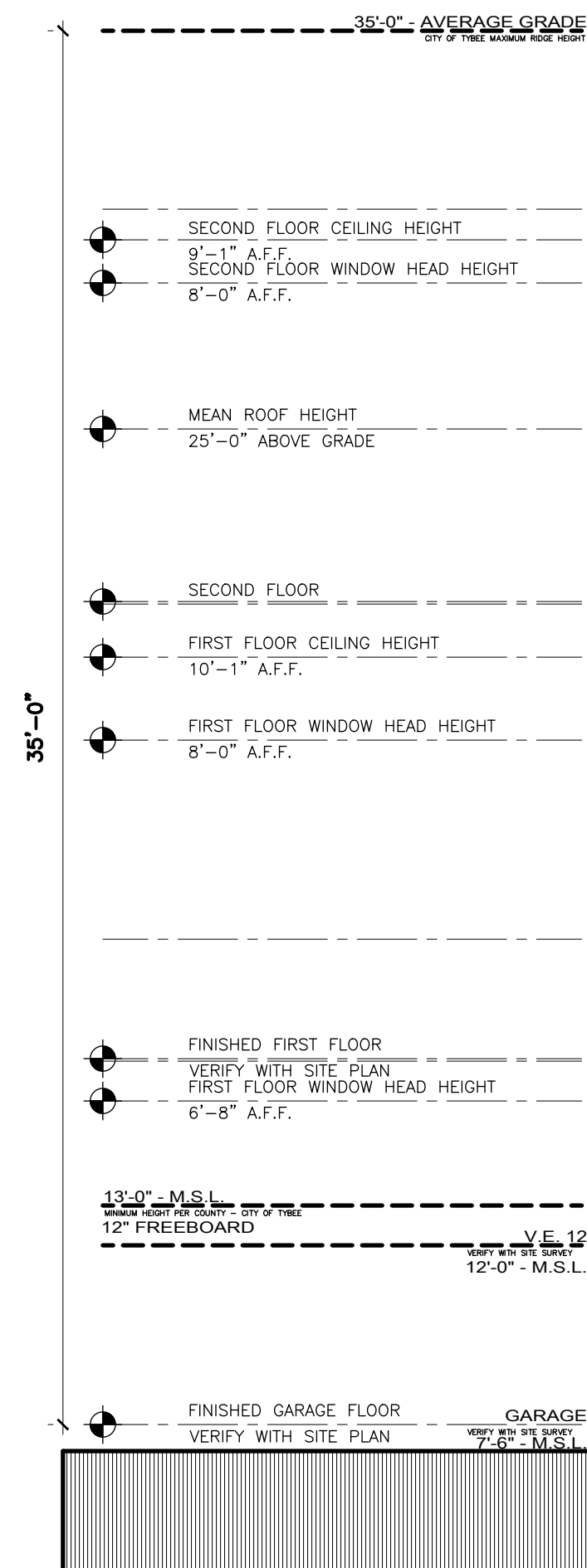
11 - 22 SINGLE USE ONLY

0 1' 4' 8' 16'



**WARNING**  
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**WARNING**  
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THE GENERAL CONTRACT IS TO VERIFY THE OVERALL HEIGHT WITH SURVEYOR PRIOR TO FRAMING INSPECTION.  
THE GENERAL CONTRACTOR IS TO VERIFY THE BASE MEASURING POINT FROM THE CITY OF TYBEE PRIOR TO FOUNDATION POUR.



V.E. 12  
0'-0" M.S.L.

EXTERIOR ELEVATION - RIGHT  
SCALE: 1/4" = 1'-0"  
A - 202 - 1



## EXISTING CONDITIONS

DESIGN DOCUMENTS ARE BASED ON VISUAL MEASUREMENTS TAKEN AND MAY NOT ACCURATELY SHOW THE CORRECT AND OR EXACT CONDITIONS ESPECIALLY NON-VISIBLE CONDITIONS. VERIFY ALL CRITICAL DIMENSIONS, WALL THICKNESS, CEILING HEIGHTS PRIOR TO ANY ORDERING OF SYSTEMS, WINDOWS AND DOORS.

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## DRAWING NOTES

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**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"  
FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY

**ICC 600-2014  
I.R.C. - 2018  
V.E. 12  
12 - 13**

**CEILING HEIGHTS**  
ALL FIRST FLOOR CEILING HEIGHTS ARE:  
AND SECOND FLOOR CEILING HEIGHTS ARE:  
VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED.

**10'-14"  
9'-1"**

**ROOF PITCH**  
ALL PRIMARY ROOF PITCHES ARE:  
UNLESS OTHERWISE SPECIFIED, VERIFY WITH ROOF PLAN.  
ALL GABLE MODIFIED HIPS ARE:  
UNLESS OTHERWISE SPECIFIED, VERIFY WITH ROOF PLAN.

**4 - 12  
4 - 12**

**WINDOW PROTECTION**  
SEE SHEET 5-101 FOR MINIMUM SPECIFICATIONS.

**WINDOW MUTTONS & MULLIONS**  
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**SITE GRADING**  
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**H.V.A.C. - SERVICE YARD**  
VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION.

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DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY. SEE A.R.B. COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION.

**EXTERIOR DOORS AND WINDOWS**

ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES.

**EXTERIOR LOUVERS**  
ALL LOUVERS BELOW THE F.E.M.A. REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH I.R.C. SECTION 324.2.2.

## ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET A.S.T.M. 31610 CLASS F PER I.R.C. SECTION 905.2.4.1.

**WINDOWS AND DOORS**  
VERIFY ALL SPECIFICATIONS  
AND SIZES PRIOR TO  
ORDERING AND INSTALLATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**PRIMARY ROOF PITCH**  
4 - 12  
SEE NOTES FOR CLARIFICATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**STONE BRICK FINISH IS SHOWN**  
FOR LOCATION ONLY. VERIFY  
WITH SPECIFICATION  
FOR TYPE AND FINISH.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**VERIFY ALL FINISHED**  
ELEVATION HEIGHTS  
WITH FLOOR PLANS  
AND ELEVATION PAGES.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**INTERIOR FINISHES**  
SEE THE INTERIOR DESIGN PACKAGE  
AND MATERIAL SELECTIONS FOR ALL INTERIOR  
TRIM AND DETAILS.



## GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES.

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS, SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET, ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT.

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

## STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION.

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"  
FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY

**ICC 600-2014  
I.R.C. - 2018  
V.E. 12  
12 - 13**

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

## RICHARDSON

SINGLE FAMILY RESIDENCE - RENOVATION

6 LOVELL AVENUE  
TYBEE ISLAND - GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATION - RIGHT

24 x 36

## PERMIT

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**RICHARDSON**  
SINGLE FAMILY RESIDENCE - RENOVATION  
6 LOVELL AVENUE  
TYBEE ISLAND - GEORGIA  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY

21 - 039  
06.02.2022

REV

A - 202

12 - 22 SINGLE USE ONLY

0 1' 4' 8' 16'



**WARNING**  
THE OVERALL FINISHED ROOF OVERHANG CANNOT EXCEED 2'-0" PER THE CITY OF TYBEE.  
THE GENERAL CONTRACT IS TO VERIFY THE OVERHANG WITH SURVEYOR PRIOR TO FRAMING INSPECTION.  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**WARNING**  
THE OVERALL FINISHED ROOF RIDGE HEIGHT CANNOT EXCEED 35'-0" FROM GRADE PER THE CITY OF TYBEE.  
THE GENERAL CONTRACT IS TO VERIFY THE OVERALL HEIGHT WITH SURVEYOR PRIOR TO FRAMING INSPECTION.  
THE GENERAL CONTRACTOR IS TO VERIFY THE BASE MEASURING POINT FROM THE CITY OF TYBEE PRIOR TO FOUNDATION POUR.  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

35'-0" - AVERAGE GRADE  
(TOP OF TYPICAL WALKWAY FLOOR)

SECOND FLOOR CEILING HEIGHT  
9'-1" A.F.F.  
SECOND FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

MEAN ROOF HEIGHT  
25'-0" ABOVE GRADE

SECOND FLOOR  
FIRST FLOOR CEILING HEIGHT  
10'-1" A.F.F.  
FIRST FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN  
FIRST FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

13'-0" M.S.L.  
12'-0" M.S.L.  
12' FREEBOARD  
V.E. 12  
12'-0" M.S.L.

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN  
GARAGE  
7'-8" M.S.L.

V.E. 12  
0'-0" M.S.L.

EXTERIOR ELEVATION - BACK  
SCALE: 1/4" = 1'-0"  
A - 203 - 1



## EXISTING CONDITIONS

DESIGN DOCUMENTS ARE BASED ON VISUAL MEASUREMENTS TAKEN AND MAY NOT ACCURATELY SHOW THE CORRECT AND OR EXACT CONDITIONS ESPECIALLY NON-VISIBLE CONDITIONS. VERIFY ALL CRITICAL DIMENSIONS, WALL THICKNESS, CEILING HEIGHTS PRIOR TO ANY ORDERING OF SYSTEMS, WINDOWS AND DOORS.

NOTATIONS ON THESE DESIGN DOCUMENTS MAY NOT FULLY REFLECT ALL THE WORK NECESSARY TO COMPLETE THE INTENT OF WHAT IS DRAWN. THEREFORE, THE GENERAL CONTRACTOR SHALL SITE-VERIFY ALONG WITH THE SUB-CONTRACTORS DURING ALL PRICING, PRE-ARRANGE INSPECTIONS OF THE PROPERTY WITH THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL MAKE TO THE BEST OF THEIR ABILITY VISUAL, NON-DESTRUCTIVE INSPECTIONS OF THE AREAS EFFECTED BY THE WORK IN ORDER TO GIVE A COMPLETE QUOTE AS POSSIBLE.

EXISTING STRUCTURE TO BE RAISED AND ALIGNED WITH NEW FINISHED FIRST FLOOR USE AND REPAIR AS REQUIRED.

## DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION.

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"  
ICC 600-2014  
I.R.C. - 2018  
V.E. 12  
12 - 13

**CEILING HEIGHTS**  
ALL FIRST FLOOR CEILING HEIGHTS ARE:  
AND SECOND FLOOR CEILING HEIGHTS ARE:  
VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED.

**ROOF PITCH**  
ALL PRIMARY ROOF PITCHES ARE:  
UNLESS OTHERWISE SPECIFIED, VERIFY WITH ROOF PLAN.  
ALL GABLE MODIFIED HIPS ARE:  
UNLESS OTHERWISE SPECIFIED, VERIFY WITH ROOF PLAN.

**WINDOW PROTECTION**  
SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS.

**WINDOW MUTTONS & MULLIONS**  
ALL MUTTONS AND MULLIONS ARE STANDARD TYPE. VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS.

**WINDOW SIZES**  
DO NOT SCALE WINDOW SIZES FROM DRAWINGS. VERIFY SIZE WITH FLOOR PLAN ELEVATION.

**SITE GRADING**  
SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT.

**H.V.A.C. - SERVICE YARD**  
VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION.

**SHUTTERS**  
DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY. SEE A.R.B. COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION.

## EXTERIOR DOORS AND WINDOWS

ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES.

**EXTERIOR LOUVERS**  
ALL LOUVERS BELOW THE F.E.M.A. REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH I.R.C. SECTION 324.2.2.

## ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET A.S.T.M. 31610 CLASS F PER I.R.C. SECTION 905.2.4.1.

**WINDOWS AND DOORS**  
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**PRIMARY ROOF PITCH**  
4-12  
SEE NOTES FOR CLARIFICATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**STONE BRICK FINISH IS SHOWN FOR LOCATION ONLY. VERIFY WITH SPECIFICATION FOR TYPE AND FINISH.**

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**VERIFY ALL FINISHED ELEVATION HEIGHTS WITH FLOOR PLANS AND ELEVATION PAGES.**

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

## INTERIOR FINISHES

SEE THE INTERIOR DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS.



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VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

## RICHARDSON

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STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATION - BACK

24 x 36

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